

**Time and Date**

2.00 pm on Thursday, 29th February, 2024

Place

Council Chamber - Council House

1. Apologies for Absence**2. Declarations of Interest****3. Members Declarations of Contact on Planning Applications**

Members are reminded that contacts about any planning applications on this agenda must, unless reported to this meeting by the Strategic Lead for Planning, be declared before the application is considered.

4. Late Representations

To be circulated at the meeting.

5. Application PL/2023/0001062/FULM - Land South East of Shilton Lane, South and South East of Lentons Lane Coventry (Pages 3 - 78)

Report of the Strategic Lead for Planning

6. Application PL/2023/0002538/FUL and PL/2023/0002495/LBC - The Stables, Styvechale Manor Courtyard, 28 Leamington Road, Coventry, CV3 6GG (Pages 79 - 112)

Report of the Strategic Lead for Planning

7. Application PL/2023/0001888/RESM - Land between Bennetts Road and Fivefield Road, Keresley, Coventry (Pages 113 - 162)

Report of the Strategic Lead for Planning

8. Outstanding Issues

There are no outstanding issues.

9. Any other items of public business which the Chair decides to take as matters of urgency because of the special circumstances involved

Wednesday, 21 February 2024

Note: The person to contact about the agenda and documents for this meeting is
Carolyn Sinclair / Usha Patel carolyn.sinclair@coventry.gov.uk /
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Membership: Councillors N Akhtar, P Akhtar, R Bailey, J Gardiner, L Harvard (Chair),
A Kaur, T Khan (Deputy Chair), G Lloyd, K Maton, C Miks and R Simpson

By invitation Councillor D Welsh (Cabinet Member for Housing and Communities)

Carolyn Sinclair / Usha Patel

**Email: carolyn.sinclair@coventry.gov.uk /
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Planning Committee Report	
Planning Ref:	PL/2023/0001062/FULM
Site:	Land South East of Shilton Lane, South and South East of Lentons Lane Coventry.
Ward:	Longford and Henley
Proposal:	Full planning application for solar farm development, including solar arrays, control buildings and associated infrastructure, internal access roads, landscaping, and associated development.
Case Officer:	Ayesha Saleem

SUMMARY

The application proposes a solar farm development, including solar arrays, control buildings and associated infrastructure, internal access roads and landscaping. The application falls predominantly with the Coventry City boundary and two fields to the further east fall within the Rugby Borough boundary.

BACKGROUND

The application has been recommended for approval. The application has received more than 5 public representations objecting to the proposal.

A screening opinion has been undertaken by the Council in accordance with the Town and Country Planning (Environmental Impact Assessment) Regulations 2017 which concludes that the proposal is not deemed to be EIA development.

KEY FACTS

Reason for report to committee:	Over five objections against the Officers recommendation
Current use of site:	Agricultural
Proposed use of site:	Solar Farm

RECOMMENDATION

Planning Committee are recommended to grant planning permission for those matters within their administrative boundary, subject to the Secretary of State not wishing to intervene and the conditions listed in the report; and delegate authority to the Strategic Lead Planning, in consultation with the chair of Planning Committee, to agree any amendments to these conditions, which are considered necessary.

REASON FOR DECISION

- The proposal is acceptable in principle. The public and other benefits arising from the scheme are considered to be of a sufficient magnitude to outweigh the harm arising to the Green Belt, landscape, visual and the less than substantial harm arising to the heritage assets.

- The proposal will not adversely impact upon highway safety, air quality, heritage assets, trees or ecology, subject to conditions.
- The proposal accords with Policies DS1, DS3, DS4, GB1, GB2, GE1, GE2, GE3, GE4, DE1, HE2, AC1, AC2, AC3, AC4, EM3, EM4, EM7 of the Coventry Local Plan 2016, together with the aims of the NPPF.

APPLICATION PROPOSAL

The Application seeks planning permission for the following:

- Approximately 60,180 solar panels with the majority being piled using ground screws and where there are wayleaves in place or other sensitive areas then ground mounted panels will be used and laid out across the site.
- The height of panels will be a maximum height of 3.0 metres above local ground level.
- 13 Invertor containers located at strategic locations arranged around the site. These are to have a width of circa 2.4 metres, length of circa 6.06 metres and height of 2.5 metres.
- A control and grid connection building approximately 14.2 metres in length, 4.1 metres in width, 3.0 metres in height and dark green in colour.
- Internal site electrical connections are to be made underground.
- Internal access roads and hardstanding.
- Security fencing wire mesh fencing no greater than 2.0m in height around the solar arrays.
- Security cameras located at strategic points, facing into the site.
- A temporary construction compound of circa 25m x 50m to enable the safe and efficient servicing of the site during construction and to be removed post construction works.
- Redirecting an existing footpath
- The proposals state a biodiversity net gain of 165.46 habitat units which is a 149.49% increase from the baseline units and a net gain of 17.09 hedgerow units which is a 43.08% increase from the baseline units.

SITE DESCRIPTION

The application site comprises 51 hectares (ha) of primarily agricultural land, bisected by the Oxford Canal and adjacent to Lenton's Lane Cemetery and Sowe Common. It is bound by the settlement of Alderman's Green to the north, the M6 and Coventry Cruising Club to the south and Aldermans Green Road to the west.

The site slopes downwards from roughly north to south, from Lenton's Lane towards the M6 motorway. It is crossed by several overhead electricity and telecoms cables, towers, and poles.

The proposal is a cross boundary application with the western area of the site being located within the Coventry City Council's administrative boundary off Lenton's Lane. The eastern area of the site is located within Rugby Borough Council's administrative area accessed from Woodway Lane via Sowe Common.

The application site is located within Green Belt.

One further solar development is located approximately 1.3km to the northwest, known as Tolldish Hall Farm, Parrotts Grove. The proposed 25MW development is located in neighbouring Nuneaton and Bedworth Borough Council area (planning application reference 039235) and was granted approval in 2023.

PLANNING HISTORY

Coventry City Council:

Application Number:	Description of development:	Decision and date:
PL/2023/0000513/SCR	Request for EIA Screening Opinion under Regulation 6 of the Town & Country Planning (Environmental Impact Assessment) Regulations 2017 for a proposed solar farm	17 th April 2023

Rugby Borough Council:

Application Number:	Description of development:	Decision and date:
R23/0316	EIA screening opinion for proposed solar farm	15 th March 2023
R23/0672	Construction and operation of a solar farm, including solar arrays, control buildings and associated infrastructure, internal access roads, landscaping and associated development.	Awaiting Determination

POLICY

National Policy Guidance

National Planning Policy Framework (NPPF) updated September 2023. The NPPF sets out the Government's planning policies for England and how these are expected to be applied.

It sets out the Government's requirements for the planning system only to the extent that is relevant, proportionate, and necessary to do so. The NPPF increases the focus on achieving high quality design and states that it is "fundamental to what the planning and development process should achieve".

The National Planning Practice Guidance (NPPG) adds further context to the NPPF and it is intended that the two documents are read together.

Local Policy Guidance

The current local policy is provided within the Coventry Local Plan 2016, which was adopted by Coventry City Council on 6th December 2017. Relevant policies relating to this application are:

Policy DS1: Overall Development Needs
Policy DS3: Sustainable Development Policy
Policy GB1: Green Belt and Local Green Space
Policy GB2: Safeguarded Land in the Green Belt
Policy GE1 Green Infrastructure
Policy GE2: Green Space
Policy GE3: Biodiversity, Geological, Landscape and Archaeological Conservation
Policy GE4: Tree Protection
Policy DE1 Ensuring High Quality Design
Policy HE2: Conservation and Heritage Assets
Policy AC1: Accessible Transport Network
Policy AC2: Road Network
Policy AC3: Demand Management
Policy AC4: Walking and Cycling
Policy AC5: Bus and Rapid Transit
Policy EM3 Renewable Energy Generation
Policy EM4 Flood Risk Management
Policy EM7 Air Quality

Supplementary Planning Guidance/ Documents (SPG/ SPD):

SPD Energy
SPD Coventry Connected
SPD Trees and Development
SPD Air Quality
The Green Space Strategy 2019 – 2024

UK Government Solar Strategy 2014.

EN-1: Overarching National Policy Statement for Energy (July 2011).

EN-3: National Policy Statement for Renewable Energy Infrastructure (July 2011).

Statement by the Minister of State for Energy and Climate Change (November 2013).

Written Ministerial Statement on Solar Energy: protecting the local and global environment made on 25 March 2015.

STATUTORY CONSULTATION RESPONSES

No objections received from:

Urban Design (CCC)

Sustainability (CCC)

Natural England

Public Health

National Highways

No comments received from:
Nuneaton and Bedworth Borough Council
Rugby Borough Council
National Grid

No objections subject to conditions and informatives have been received from:
Highways (CCC)
Public Rights of Way (CCC)
Archaeology (CCC)
Drainage (CCC)
Ecology (CCC)
Trees (CCC)
Environmental Protection (CCC)
Canal and River Trust
Cadent
West Midlands Police Services
West Midlands Fire Services

PUBLIC RESPONSES

Notification letters were sent out to neighbouring houses and 5 site notices were displayed on the 8th June 2023 and a press notice was posted on the 15th June 2023.

63 letters of objection were received raising the following material planning considerations:

- Impact upon Green Belt
- Permanent loss of Green Belt
- No very special circumstances have been demonstrated.
- Impact upon visual amenity and character of the area.
- The proposals do not comply with national policy
- Too close to residential dwellings
- Remove panels on fields 8 and 10
- Not enough community engagement
- Discrepancies regarding footpath
- Discrepancies in the plans
- Harmful impact upon wildlife
- Impact upon livestock freely moving on fields
- Concerns regarding removal of trees
- Increase risk of fire
- Attract more crime in the area
- Concerns regarding flooding
- The application should be referred to the secretary of state for overall size of the total solar farm in the area
- Impact upon quality of life

- Noise and dust pollution generated by the construction will decrease air quality
- Concerns regarding scale of solar farm
- Increased noise and pollution
- Increase traffic
- Endanger the public who use the motorway
- The electrical output that has been predicted is not achievable
- Concerns regarding contamination
- Concerns regarding health and well-being risks from radiation
- The land should be used for agricultural purposes given its classification
- Invertor too close to road and dwellings
- The control building is too high and close to dwellings
- No alternative sites have been assessed
- The new footpath is likely to be impassable for most of the year due to the level of the flood water in field
- Loss of privacy due to CCTV surveillance
- Design and height of fencing not acceptable
- Impact upon amenity from glint and glare of solar panels
- No community benefit
- Correct notice has not been served
- Impact upon the character of the landscape
- Impact upon ridge and furrow
- Loss of farmland for growing crops
- Personal circumstances and hardship

Within the letters received the following non-material planning considerations were raised, these cannot be given due consideration in the planning process:

- Devalue properties

A paper petition against the proposal with 112 signatures sponsored by Councillor Linda Bigham has been received. The petitions raise the following issues:

- Road safety;
- The fields are above shallow mines;
- No benefit to local residents;
- Mental health impacts on local residents;
- Loss of public footpaths;
- Fire risk;
- Ecology disruption;
- Visual impact;
- It is Green Belt land.

Technical documents were submitted, and neighbours were re-consulted on the application on the 12th October 2023 for 14 days.

68 letters of objection were received raising the following material planning considerations:

- Impact upon Green Belt
- Permanent loss of Green Belt
- No very special circumstances have been demonstrated.
- Impact upon visual amenity and character of the area.
- The proposals do not comply with national policy
- Too close to residential dwellings
- Remove panels on fields 8 and 10
- Not enough community engagement
- Discrepancies regarding footpath
- Discrepancies in the plans
- Harmful impact upon wildlife
- Impact upon livestock freely moving on fields
- Concerns regarding removal of trees
- Increase risk of fire
- Attract more crime in the area
- Concerns regarding flooding
- The application should be referred to the secretary of state for overall size of the total solar farm in the area
- Impact upon quality of life
- Noise and dust pollution generated by the construction will decrease air quality
- Concerns regarding scale of solar farm
- Increased noise and pollution
- Concerns regarding noise/ vibrations
- Increase traffic
- Endanger the public who use the motorway
- The electrical output that has been predicted is not achievable
- Concerns regarding contamination
- Concerns regarding health and well-being risks from radiation
- The land should be used for agricultural purposes given its classification
- Invertor too close to road and dwellings
- The control building is too high and close to dwellings
- No alternative sites have been assessed
- The new footpath is likely to be impassable for most of the year due to the level of the flood water in field
- Loss of privacy due to CCTV surveillance
- Harmful overlooking
- Design and height of fencing not acceptable
- A dwelling has not been included within the visual impact assessment

- Impact upon amenity from glint and glare of solar panels
- No community benefit
- Correct notice has not been served
- Impact upon the character of the landscape
- Impact upon ridge and furrow
- Concerns regarding the positioning of the Grid Connection and WPD Connection cables.
- Loss of farmland for growing crops
- Personal circumstances and hardship
- Agricultural tenancy regulated by the Agricultural Holdings Act 1986

Within the letters received the following non-material planning considerations were raised, these cannot be given due consideration in the planning process:

- Devalue properties

Amended plans have been submitted and some of the panels have been set further back from residential dwellings. As such it is not considered necessary to formally reconsult.

Any further comments received will be reported within late representations.

ASSESSMENT

Principle of Development

The National Planning Policy Framework (NPPF) sets out the Government's planning policies for England and how these should be applied. At its core is the need for the planning system to contribute to the achievement of sustainable development. Paragraph 8 of the NPPF explains that achieving sustainable development means the planning system has three overarching and interdependent objectives; these are economic, social, and environmental. Of particular relevance to this application is the environmental objective which seeks to protect and enhance the natural, built and historic environment, including making effective use of land, improving biodiversity, using natural resources prudently, minimising waste and pollution and mitigating and adapting to climate change, including moving to a low carbon economy.

Paragraph 157 of the NPPF sets out that the planning system should support the transition to a low carbon future in a changing climate. It should help to shape places in ways that contribute to radical reductions in greenhouse gas emissions, minimise vulnerability and improve resilience, encourage the reuse of existing resources and support renewable and low carbon energy and associated infrastructure.

When determining planning applications for renewable and low carbon development, local planning authorities should not require applicants to demonstrate the overall need

for renewable or low carbon energy and recognise that even small-scale projects provide a valuable contribution to cutting greenhouse gas emissions. Such applications should be approved if its impacts are (or can be made) acceptable (NPPF, para.163).

The proposed solar farm would be located within the Green Belt.

Policy GB1 of the Coventry Local Plan 2016 states that inappropriate development will not be permitted in the Green Belt unless very special circumstances exist. Development proposals, including those involving previously developed land and buildings, in the Green Belt will be assessed in relation to the relevant national planning policy.

Policy EM3 of the Coventry Local Plan 2016 states that proposals for the installation of renewable and low carbon energy technologies, including both building-integrated and standalone schemes will be promoted and encouraged, provided that:

- a) any significant adverse impacts can be mitigated;
- b) where biofuels are to be utilised, they should be obtained from sustainable sources and transportation distances are minimised;
- c) any energy centre is suitably located and designed to a high quality such that it is sympathetically integrated with its surroundings; and
- d) all proposals are consistent with any relevant Policies in this Plan.

Section 13 of the NPPF (2023) established the national planning policy objective to protect the Green Belt, Paragraphs 149 and 150 define different types of development that would not be inappropriate in the Green Belt. The proposed solar farm scheme would not comply with any such provisions outlined within the NPPF (2023). The proposal is therefore considered to be inappropriate development in the Green Belt.

Paragraphs 152 and 153 of the NPPF (2023) state that inappropriate development in the Green Belt is, by definition, harmful and carries substantial weight. Such development should not be approved except in very special circumstances. It continues that very special circumstances will only exist if the harm to the Green Belt by its inappropriateness, and any other harm, would be clearly outweighed by other considerations.

Paragraph 156 of the NPPF (2023) specifically relates to renewable energy projects within the Green Belt, and states that “elements of many renewable energy projects will comprise inappropriate development. In such cases, developers will need to demonstrate very special circumstances if projects are to proceed. Such very special circumstances may include the wider environmental benefits associated with increased production of energy from renewable sources”.

Impact upon Green Belt and openness:

Paragraph 142 of the NPPF (2023) states that the fundamental aim of the Green Belt is to prevent urban sprawl and keep land permanently open. Openness has both visual and spatial qualities. The site consists of 14 fields, these are enclosed by tree and hedge boundaries. In terms of topography, the gradient of the site varies slightly depending on the field. The land is relatively flat with some areas sloping southwards.

The site is currently used as agricultural land and from a spatial perspective, the proposed solar arrays would introduce substantial development into the area in terms of ground cover due to the number of arrays proposed. Furthermore, the proposed access tracks, perimeter fencing, inverter containers and a control building which would all result in additional built form and structures that would further diminish the openness of the Green Belt spatially.

Nevertheless, whilst the scheme is substantial in terms of the site area, the proposed solar arrays would be relatively modest in mass and would be spaced at regular intervals. The scheme would be in place for a temporary 40-year period, it would then be fully demounted, and land returned to its former condition and the end of its use and conditions could be imposed upon any permission granted to secure the appropriate restoration of the site. Therefore, in our view the impact on the openness of the Green Belt would be reduced with the site reinstated to its former open character.

Effect on Agricultural Land:

Paragraph 180(b) of the NPPF places value on recognising the intrinsic character and beauty of the countryside including the best and most versatile agricultural land. The glossary within the NPPF defines Best and Most Versatile (BMV) agricultural land as being land in grades 1, 2 and 3a of the Agricultural Land Classification.

The National Planning Practice Guidance (NPPG) outlines a number of factors which local planning authorities will need to consider in the assessment of large-scale solar farms. The stance of the Guidance is to encourage the effective use of land by focusing large scale solar farms on previously developed and non-agricultural land. The NPPG goes on to qualify that where a proposal involves greenfield land, the local planning authority will need to consider whether the proposed use of agricultural land has shown to be necessary and where it has, that poorer quality land has been used in preference to higher quality land, and that the proposal allows for continued agricultural use.

The Written Ministerial Statement on Solar Energy: protecting the local and global environment made on 25 March 2015 is referred to in the NPPG. Eric Pickles (then – Secretary of State) made a statement on Solar Energy and protection of the global and local environments. In respect of the use of agricultural land, Mr Pickles stated that the most compelling evidence needed to be provided for solar on Best and Most Versatile (BMV) agricultural land.

The applicant has supported this application with an Agricultural Land Classification Report. The report demonstrates that the proposed solar farm will be constructed on 51 hectares of agricultural land, of which 32% is Grade 3a, 41.5% Grade 3b and 26.5% Grade 4. This is a range under the Agricultural Soil Classification of Good to Moderate to Poor with Grade 1 being the highest quality and Grade 5 being the lowest.

The applicant has confirmed that there is the potential for agricultural land use in the form of sheep grazing in tandem with solar energy generation. However, it is considered such an activity would be unlikely to fully offset the site's current capability for agricultural uses. At the end of the 40-year operational lifespan of the solar farm the site would be restored back to full agricultural use with all equipment and below ground connections removed.

Natural England have no objections to the proposals. As it would not appear to lead to the long-term loss of best and most versatile land as the panel arrays would be fixed with limited soil disturbance being secured through pins into the ground every few metres and could be removed when planning permission expired with no likely loss of agricultural land quality. Whilst soil would be disturbed in some parts of the site through the construction of the switch station and access tracks and installing of buried cables this amounts to a relatively small area and much of the soil disturbance may be reversible during decommissioning.

The PPG 'guide to assessing development proposals on agricultural land' (2021) requires local authorities to aim to protect BMV agricultural land from significant, inappropriate, or unsustainable development proposals. In our view the scheme would result in the loss of some BMV agricultural land. The temporary loss of land for agricultural uses are not considered to weigh against the scheme in the planning balance.

It is therefore concluded that it would be difficult to justify refusal on the grounds that the proposal would be on agricultural land and the proposal is considered to comply with the aims of national planning policy.

In determining this application, it is necessary to balance any recognised positive or negative effects against the strong presumption in favour of promoting renewable energy provision. The wider environmental and economic benefits of the proposal are a material consideration to be given significant weight in the determination of the application.

In the appeal decision by the Planning Inspector dated 29th September 2023 in relation to Warpole Green Limited against South Holland District Council, the Planning Inspectorate (PINS) considered whether planning permission should be granted for a solar farm and battery storage facility on high quality agricultural land. In this appeal, the inspector:

- acknowledged that the proposal would take land out of arable use, including for food production, for a temporary period of 35 years. However, there would not be a total loss of agricultural land as sheep could be grazed between the arrays. Following decommissioning, the land could be restored to agricultural use. The

proposal would also allow for biodiversity and landscape enhancements around the panels.

- acknowledged that there would be a reduction in the productivity of the land and poorer quality land would not be used in preference to higher quality land, as required by the written ministerial statement of 25 March 2015, planning practice guidance and the National Planning Policy Framework (NPPF). It was noted that such poorer quality land was not available.
- concluded that the total area of agricultural land within each of the council's administrative areas was significant. The extent of land that would be occupied by solar farms, including the proposal, would represent a relatively small part of this. Due to the proposed connection to the intended substation, the proposal could not be located on previously developed land or non-BMV land.
- Given the scale and urgency of the need to move towards reducing greenhouse gas emissions, the inspector attached significant weight to this matter, including the impact of climate change on food production. A balance therefore needed to be struck to reduce the former to protect the latter, including in certain cases BMV land. Energy and food security were both key issues.
- The proposal had the potential to generate up to 49.9 megawatts, enough to power approximately 10,150 family homes which would reduce the potential implications of carbon dioxide pollutants generated by equivalent electricity produced from fossil fuels by 8,927 tonnes each year. This amounted to significant environmental and energy security benefits.

The Inspector thus concluded that increasing the country's ability to produce electricity from a renewable source and improve energy security justified the loss of BMV land.

Wider benefits:

At the local level, Coventry City Council have confirmed their commitment to tackling climate change. Coventry City Council Local Plan policy EM3 Renewable Energy Generation seeks to promote and encourage the installation of renewable and low carbon energy technology provided significant adverse impacts can be mitigated.

The proposed scheme will deliver significant benefits, most notably a renewable solar farm that would generate up to 30MW of renewable energy and save 7,080 tonnes of carbon dioxide per annum. This would help to combat climate change and would support the Government's policy for the UK's transition to achieving a low carbon economy and

assists in meeting the UK's legally binding obligations for Net Zero carbon emissions by 2050.

Solar farms are required to meet specific site selection and location requirements to ensure they are suitable for development. The application site has been chosen for its close proximity to a grid connection location with sufficient capacity.

The application aims to provide the following benefits to local people:

- Educational opportunities for schools and local residents to learn about renewable energy and sustainable solutions.
- Further wildlife habitat improvement or creation, to support endangered or specific species
- Improving walking and cycling connections – including relocating the existing footpath within the site to create a better connection with Hawksbury Village Green and the wider area
- Facilitating schemes to enable local residents to benefit from solar technology
- Working with community groups and local organisations

Even whilst attributing substantial weight to the harm resulting from inappropriate development in the Green Belt, it is considered that the benefits of the proposal amount to very special circumstances which clearly outweigh the harm.

Landscape and Visual Amenity

Chapter 15 of the NPPF (2023) is concerned with conserving and enhancing the natural environment. Paragraph 180 of the NPPF states that planning policies and decisions should contribute to and enhance the natural and local environment by, inter alia, protecting and enhancing valued landscapes and recognising the intrinsic character and beauty of the countryside.

Policy DE1 of the Coventry Local Plan 2016 states that development should respect the local character and street scene of the area and seeks a high-quality urban design. All development will be expected to meet the following key principles:

All development will be expected to meet the following key principles:

- a) respond to the physical context of the site;
- b) consider the local distinctiveness and identity of the site but also have regard to opportunities to enhance the local built and natural environment through new development and enhanced design;
- c) where appropriate, retain and incorporate into the layout the protection of important views, including key views of the three spires;
- d) preserve or enhance the character and setting of the historic built, landscape and where appropriate archaeological environment;
- e) preserve or enhance the character and setting of major road, rail and canal corridors;
- f) clearly define the boundaries between public and private spaces and enclosure of space;

- g) provide attractive, safe, uncluttered, active and easily identifiable, high quality public spaces;
- h) make places that inter-connect and are easy to move through;
- i) ensure places are easily understood by users, with clear routes and distinct physical features;
- j) seek high quality design and attention to detail in the layout of developments, individual buildings and infrastructure in terms of function and impact, not just for the short term, but over the lifetime of the development;
- k) be adaptable to changing social, technological, economic and market conditions and ensure that developments maximise the use of the site;
- l) promote diversity through mixes of uses within a site or building, which work together to create vital and viable places;
- m) be proactive in responding to climate change and adopt sustainable and low carbon construction principles in terms of their design, layout and density;
- n) consider green infrastructure at the earliest stage in the design process, to ensure that it is well planned, designed, managed and maintained. It should also be well integrated and serve multiple purposes (as appropriate);
- o) Support the integration of through routes for public transport and incorporate suitable bus priority measures as appropriate;
- p) minimise adverse impact on important natural resources;
- q) conserve, restore or enhance biodiversity; and
- r) respect and enhance landscape quality including trees, hedges and other landscape features of value.

The proposal, by virtue of its nature and scale, would result in harm to the character and appearance of the area. There is a distinction to be made between impact on landscape which should be treated as a resource, and impact on visual amenity which is the effect on people observing the development in places where it can be viewed, such as from roads, public rights of way and individual dwellings. The following section of this report sets out the landscape impacts of the proposal.

The local landscape within which the site is situated comprises various land uses that reflect the transition between urban and rural landscapes. The 14 fields which form the application site are well contained by boundary hedgerows and trees. Existing features on the site also already visually interrupt the local landscape including existing powerlines and pylons which cross the site and the backdrop of the M6 motorway. There are two public footpaths that cross the site. Other sensitive receptors in the vicinity of the site include a number of residential properties to the north on Lentons Lane and to the north west on Aldermans Green Road.

Mitigation measures are proposed to minimise, and in some cases avoid, adverse effects including retaining existing boundary vegetation with only small areas proposed to be removed to facilitate access between fields. The application also proposes planting new hedgerows and trees. The proposed mitigation and planting are recommended to be secured through the imposition of planning conditions.

The submitted Landscape and Visual Appraisal (LVA) has considered the effects of the development on landscape character and visual amenity during construction, at completion taken as year 1- and 15-years following completion when new planting would have matured.

The effects of the development on views and visual amenity have also been considered in the submitted LVA. The LVA provides a summary of these effects, which has been reproduced below: -

- Major effects will be experienced by visual receptors in houses along Lenton's Lane in Alderman's Green, during construction and at year 1 of operation. This is due to the high sensitivity of residents and the proximity of the proposed development, which will replace views of farmland to the south. At year 15 of operation proposed planting along the northern site boundary will filter views into the site, and effects will reduce to moderate.
- Major effects will also be experienced by recreational receptors on the Oxford Canal and Oxford Canal Walk, during construction and at year 1 of operation. Although existing vegetation screens and filters views of the site from most of the canal, there are some sections with close and open views into parts of the site. Effects will reduce to moderate at year 15 once proposed planting has matured; this planting will filter views of the development but also remove longer-distance views.
- Effects on road users on Lenton's Lane will be moderate during construction, as a result of close views of construction activity including at site access points. Effects will remain moderate at year 1, before proposed mitigation planting has matured. Effects will reduce to minor at year 15 due to screening and filtering of views into the site by the hedgerow along the south side of the road, supplemented by proposed tree planting in the site.
- Visitors to Lenton's Lane Cemetery will experience minor effects during construction and at year 1, as there are some close views into the site through gaps in boundary vegetation. Effects will reduce to negligible at year 15 when proposed planting along the site boundary has matured.
- Minor effects will be experienced by recreational receptors in Hawkesbury Village Green during construction and at years 1 and 15 of operation, due to the screening of outward views by enclosing vegetation.

Officers have reviewed this document and conclude that the submitted LVA is adequate for the purpose of identifying the overall landscape and visual effects and its findings can form part of the overall consideration of the planning balance. The submitted LVA is generally carried out in an appropriate manner and is adequate. Therefore, the impacts upon the landscape character and views and visual amenity have been considered in the submitted LVA and reviewed by officers and the proposal would therefore result in landscape harm which would be partly mitigated by additional planting. The resultant landscape harm arising as a result of the scheme would be weighed in the planning balance.

The proposed scale of the associated development such as the proposed control buildings and inverter units are considered to be of an acceptable scale and materials.

When balancing all of the above and considering the proposed mitigation measures, Officers are of the view that the development would not have a harmful visual impact, as to justify a refusal of planning permission.

Heritage and Archaeology

Paragraph 196 of the NPPF (2023) states that plans should set out a positive strategy for the conservation and enjoyment of the historic environment, including heritage assets most at risk through neglect, decay or other threats. This strategy should take into account: :

- a) the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;
- b) the wider social, cultural, economic and environmental benefits that conservation of the historic environment can bring;
- c) the desirability of new development making a positive contribution to local character and distinctiveness.
- d) opportunities to draw on the contribution made by the historic environment to the character of a place

Paragraph 205 of the NPPF states that when considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation. Paragraph 208 of NPPF (2023) states "Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use".

Paragraph 209 states "The effect of an application on the significance of a non-designated heritage asset should be taken into account in determining the application. In weighing applications that directly or indirectly affect non-designated heritage assets, a balanced judgement will be required having regard to the scale of any harm or loss and the significance of the heritage asset".

Policy HE2 of the Coventry Local Plan 'Conservation and Heritage Assets' which is relevant to archaeological constraint areas (ACA) states that in order to help sustain the historic character, sense of place, environmental quality and local distinctiveness of Coventry, development proposals will be supported where they conserve and, where appropriate, enhance those aspects of the historic environment which are recognised as being of special historic, archaeological, architectural, artistic, landscape or townscape significance. Proposals likely to affect the significance of a heritage asset or its setting should demonstrate an understanding of such significance using currently available evidence.

Heritage Assets:

There are two locally listed buildings Nos 181 and 183 Lentons Lane which are two houses that are located north of the application site. These are non-designated heritage assets. They are depicted on the 1888 Ordnance Survey map and are probably 19th century in date. The proposed solar farm is to be located in the adjacent field to these dwellings.

The development would be located within the setting of these locally listed buildings as it is within the associated agricultural fields to the south of the heritage asset which contributes to the appreciation of the locally listed buildings form. However, the harm to the heritage significance of these locally listed buildings is considered less than substantial. As such, the heritage harm identified to these non-designated assets should be weighed against the public benefits of the proposal in line with Paragraph 209 of the NPPF (2023).

In making this assessment, Officers have had regard to the weight that should be given to the desirability of preserving the special interest and setting of the heritage assets and it is not considered that the harm arising to any of the locally listed structures would be any more than minor and certainly not of a scale to warrant refusal of the application.

Archaeology Provision:

The site located south east of Shilton Lane and south and south east of Lentons Lane is within an area of mineral extraction and agricultural activity. The applicants have submitted a desk-based assessment.

The evidence from the desk-based assessment has shown that there are remains of local heritage value surviving within the Proposed Development Site. These remains comprise areas of ridge and furrow cultivation earthworks (MCT 582 / R&F 1; MCT 1107 / R&F 2 and R&F 3), possibly relating to medieval agricultural practices, or preserving the form of open fields systems established in the medieval period and to post-medieval agriculture. In addition, areas of former coalmining remains (MCT 504 and MW 1) are located along the Oxford Canal in the northwest parcel of the Proposed Development Site.

Further archaeological evaluation, comprising geophysical survey in the first instance should be undertaken across the proposed development site. The applicant have confirmed that this archaeological assessment has not been carried out as access has been denied. The Archaeology officer has confirmed that this survey and any required mitigation can be conditioned.

Highways Impacts

Policy AC1 'Accessible Transport Network' of the Coventry Local Plan states that development proposals which are expected to generate additional trips on the transport network should:

- a) Integrate with existing transport networks including roads, public transport, and walking and cycling routes to promote access by a choice of transport modes.
- b) Consider the transport and accessibility needs of everyone living, working, or visiting the city.
- c) Support the delivery of new and improved high-quality local transport networks which are closely integrated into the built form.
- d) Actively support the provision and integration of emerging and future intelligent mobility infrastructure.

Policy AC2 of the Coventry Local Plan states new development proposals which are predicted to have a negative impact on the capacity and/or safety of the highway network should mitigate and manage the traffic growth which they are predicted to generate to ensure that they do not cause unacceptable levels of traffic congestion, highway safety problems and poor air quality. Highway mitigation and management measures should focus firstly on demand management measures (Policy AC3) including the promotion of sustainable modes of travel, and secondly on the delivery of appropriate highway capacity interventions. Highway capacity interventions should be appropriate to the scale of development and expected impact and will be determined through the associated Transport Assessment.

Highway officers initially raised concerns with vehicle tracking drawings, access design drawings, and measures to control vehicles during the construction process.

The applicant has submitted an updated Construction Traffic Management Plan and technical tracking and swept path drawings.

The updated vehicle tracking, and access design drawings have since been submitted, which address the concerns previously raised. The Highway Authority is satisfied that large vehicles expected to be used during the construction process can safely manoeuvre within the proposed vehicular accesses existing junctions.

The updated (Construction Traffic Management Plan) CTMP indicates that the construction period will last approximately 7 months, with an average of 42 two-way vehicle movements occurring per day, 17 of which would be HGV's. HGV routeing will be via M6 J2, Ansty and then Shilton which is all within the constituent boundary of Rugby Borough Council, up to the Shilton Lane / Lentons Lane junction when it becomes land within Coventry City Council's control. No abnormal load vehicles are anticipated to be used during the construction phase. Once operational, the site will generate approximately 4 two-way trips per week.

The Highway Authority is satisfied that the development proposals should not have a severe impact on public highway safety, or on the operation or capacity of the local highway network. Officer recommend that conditions are imposed in relation to access,

manoeuvring and parking layout, signage details and the development shall be carried out in accordance with the Construction Traffic Management Plan (November 2023).

Given the site is in the vicinity of the M6 that forms part of the Strategic Road Network, National Highways were also consulted on this application. National Highways have no objections to the proposals.

For the above reasons, Officers are therefore satisfied that the development is acceptable in this regard and as such accords with Policies AC1 and AC2.

Public Rights of Way

There are existing public footpaths within the site. A public right of way provides an access from Wyken Basin to Lentons Lane, via the Lentons Lane farm access road. The farm access road is adopted but has a gate at its entrance on Lentons Lane.

A further permissive footway is located within the northwest of the site connecting the Hawksbury Village Green with the road leading to the Coventry Cruising Club access road.

Woodway Lane to the south of the Sowe Common car park is primarily used by pedestrians, although the road is also the main vehicular access for the agricultural land to the southeast, albeit gated to prevent general vehicular access. The road connects with a public right of way and a bridge over the M6. Woodway Lane then continues south into the wider Coventry built up area.

The Oxford canal passes through the development site and the tow path allows for recreational access along its southern bank. The tow path is used by pedestrians and cyclists currently.

The permissive footway located within the northwest of the site connecting the Hawksbury Village Green with the road leading to the Coventry Cruising Club access road is to be rerouted.

The Public Rights of Way officer has no objections subject to conditions in relation to an access management plan, the diversion of the public footpath from Lenton's Lane to the Cruising Club and informatives.

Ecology, Biodiversity and Trees

Policy GE3 of the Coventry Local Plan states that Sites of Special Scientific Interest (SSSIs), Local Nature Reserves (LNRs), Ancient Woodlands, Local Wildlife and Geological Sites will be protected and enhanced.

Policy GE3 establishes that developments should provide a net gain and where this is not possible provide some form of offsetting.

The development area is in an ecologically sensitive area within the Green Belt and with statutory sites and Green Belt surrounding the area.

- The Oxford canal runs through the site and is an ecologically important blue habitat corridor. Water voles and otters are recorded along the canal and the canal provides a corridor for insects, fish and bats.
- Immediately to the north and east of the site is green belt land and Lenton's lane swamp local wildlife site.
- Within 50 m of the northwest corner of the development site, separated by the Oxford canal and B109, is Hawkesbury spinney Local Wildlife Site and old Tip, and Coventry 'B' supergrid Local Wildlife Site.
- To the south of the site, separated by the M6, lies Wyken Slough Local Wildlife site and Wyken Slough Local Nature reserve. A corridor beneath the M6 via the marina provides aquatic and terrestrial connectivity between the two areas.

The application includes an ecological appraisal and biodiversity impact assessment.

There are numerous badger setts on site based on our records and as is stated in the ecological appraisal. A license from Natural England will be required in order to carry out work in proximity to the setts. Numerous great crested newt (GCN) records exist on the site. Their presence was confirmed in 3 ponds on the site through eDNA survey work presented in the Ecological Appraisal. A license from Natural England will be required in order to carry out any work which will impact the current populations on site. The site contains numerous trees with bat roosting potential and bats are recorded within 1 km of the site. Any lighting should be ecologically sensitive to mitigate impacts on bats.

The information in the ecological appraisal is accepted and all recommendations made in it should be carried out, including the mitigation and enhancement recommendations made in chapter 5 and the and the policy and legislation requirements set out in chapter 6.

Particular enhancement recommendations beyond those statutorily required by Natural England should focus on:

- Enhancement of existing grassland
- Creating buffer areas along the canal bank, particularly the offside, to support otter, water voles and other small mammals and reptiles.
- Retention and enhancement of hedgerows and hedgerow trees

In line with Local Plan policy GE3 the development must deliver an improvement in biodiversity. The application includes a preliminary biodiversity net gain assessment which sets out an outline for the expected habitat creation and enhancement on site. This assessment is based on preliminary design proposals and is subject to detailed design proposals. An agreed biodiversity impact assessment and mitigation plan based on the final design proposals is a necessary condition of development.

As part of the development a construction ecological management plan (CEMP) and landscape ecological management plan (LEMP) will be a condition of development, to ensure that construction is carried out in an ecologically sensitive manner and to set out the management of the created habitats in future in order to achieve the required net gain in biodiversity.

The submitted information states there is a baseline of 110.69 habitat units, 39.67 hedgerow units and 14.09 river units, and the development would result in a loss of 73.37 habitat units, 0.4 hedgerow units and no loss of river units.

Currently the proposals state a net gain of 165.46 habitat units which is a 149.49% increase from the baseline units and a net gain of 17.09 hedgerow units which is a 43.08% increase from the baseline units. The Second scenario provides similar increases in habitat and hedgerow units but also a 15.66% gain in river units. This should be verified once landscaping proposals have been finalised.

The PEA has been updated following reflection on the arboricultural assessment to specify that:

- Following an Arboricultural Assessment (AA), it is understood two trees with moderate Bat Roost Suitability (BRS) (T13 and T32) and one tree with low BRS (T11) will be removed as part of the proposals. T11 and T13 are within 'G16' and T32 is referred to as 'T26' in the AA.
- A further 15 trees / groups of trees will be removed which do not have BRS. T13 and T32 will need to be subject to two further emergence surveys to determine the presence or probable absence of roosts. The survey method should follow best practice guidance. Dusk emergence surveys should commence at least 15 minutes before sunset and last for at least 1.5 hours after sunset. Surveyors and infrared cameras should be positioned around the tree such that all features can be observed simultaneously.
- If bat roosts are confirmed, a Natural England European Protected Species licence will be sought and appropriate mitigation measures implemented, to address potential impacts. Before Natural England can confirm the Site is registered and licensable works can commence, an assessment of the three tests must be undertaken by a Registered Consultant, although this does not need to be submitted to Natural England (Natural England may subsequently undertake a review of the project and request to see all evidence as collected by the Consultant). This can only be undertaken following a survey and impact assessment and must be carried out in accordance with licence conditions and BCT survey guidelines.
- T11 will be felled using soft felling techniques, such as section felling of trees and then gently lowering each section in a controlled manner to ground. The sections will be left for at least 24 hours with the features in an upright position to enable

bats to vacate. This would be completed at a sensitive time of year in spring/autumn to avoid the breeding season.

- To mitigate for the loss of small numbers of moderate and low BRS trees, bat boxes will be installed prior to felling to provide alternative roosting features for bats.

Ecology officers have no objections to the proposals subject to conditions in relation to nesting bird protection, bat survey, bat lighting, badger walk over survey, Badger survey, protected species mitigation, construction ecological management plan, landscape and ecological management plan and biodiversity off-setting to mitigate the impact and to achieve net gain of 165.46 habitat units and a net gain of 17.09 hedgerow units.

Trees:

Policy GE4 of the Coventry Local Plan states that trees make a valuable contribution to the city's green landscape. New developments should seek to retain existing trees and other landscape features, incorporating them into a high-quality design and landscape proposals where possible. Should loss be unavoidable, compensatory provision of new trees should be proposed as part of a well-designed landscape scheme.

An Arboricultural Impact Assessments has been submitted. The key arboricultural features on site are as follows:

- No ancient or veteran trees were found on or near the site.
- However, many high-value individual trees and groups of trees were found across both eastern and western parcels. Most of these high-value trees ,or groups of trees, are mature oak trees or high-value large mixed groups of mature trees along the canal.
- Most of the highest-value trees are found towards the peripheries of the site or make up linear features dividing the land along field boundaries.
- The areas with the highest density of high-value trees for the western parcel are to the south side of the canal within the linear north-to-south features breaking up the fields.
- There is also a large high-value (G27 – category A) group to the north of the canal containing many mature small-stature species such as hawthorn and elder which has high amenity value as it is used by walkers as well as high wildlife value being near the canal.
- Other important high-value arboricultural features are found within hedgerows to the northeast boundary of the site bordering Lentons Lane road, and to the eastern boundary bordering the cemetery.
- Many other trees were found within the interior of the western parcel and subdividing the area into smaller fields. Many of these are of moderate to low value.
- The eastern parcel contains large high-value groups where it borders the canal to the northwest (G73 and G74 – category A). Other high-value individuals were

found along the northern boundary as well as along the hedgerow that divides the parcel. Other high-value individuals were found around the pond in the middle of the eastern parcel.

A total of 163 trees, groups of trees and hedgerows were surveyed, please see details below:

	Total:	A- High quality trees where retention is most desirable	B- Moderate quality trees where retention is desirable	C- Low quality trees which could be retained but should not significantly constrain the proposal.	U- Very poor quality trees that should be removed unless they have high conservation value.
Trees	61	24	28	9	0
Groups	92	10	53	29	0
Hedgerows	10	-	9	1	0
Woodland	0	0	0	0	0
Total:	163	34	90	39	0

The proposed development, as set out on the proposed site layout, will require the removal of individual trees, tree groups (including partial removal) and the partial removal of hedgerows. These are summarised in the table below:

	Total:	A- High quality trees where retention is most desirable	B- Moderate quality trees where retention is desirable	C- Low quality trees which could be retained but should not significantly constrain the proposal.	U- Very poor quality trees that should be removed unless they have high conservation value.
Trees	4	-	2No: T43, T44	2No: T2, T6	-
Groups	11	-	8No: G3, G10, G16, G26, G47, G69,	2No: G21, G22	-

			G71, G88 (all partial)	1No: G2 (partial)	
Hedgerows	1	-	H6 (partial)		-
Total:	-	-	-	-	-

The Tree officer has no objections to the proposals subject to a condition in relation to tree protection measures and a method statement.

Drainage

Policy EM4 of the Coventry Local Plan states all major development must be assessed in respect of the level of floor risk from all sources.

Policy EM5 of the Coventry Local Plan states all development must apply SuDS and should ensure that surface water runoff is managed as close to its source as possible.

Drainage officers have assessed the proposals. The construction of a solar farm is not in itself likely to increase surface runoff, the construction of access roads and maintenance tracks will involve the compaction of selected stone to create an all-weather running surface. This compacted stone, potentially blinded with fines, will inevitably create a near impermeable surface and will increase localized and channelled runoff routes into the narrow steep-sided swales on both sides. The management of these swales is important and during extreme weather surface water runoff could become significant and erosion could occur. The management of surface water around the control building and associated works is not an issue, this is well considered and acceptable for the development.

Drainage officers have no objections subject to conditions in relation to an intrusive ground investigation report, SUD's and a detailed drainage scheme.

In view of the above, Officers are satisfied that the development is acceptable in this regard, would not exacerbate flooding or drainage risks and is in accordance with Policies EM4 and EM5.

Glint and Glare

A Glint and Glare Assessment (GGA) has been submitted to support the application.

Dwellings:

A total of 160 dwelling receptors have been assessed which provide a representative sample of receptors in all directions within a 1 km buffer of the proposed development. It has been determined that solar reflections are not geometrically possible at 29 receptors. There are 76 receptors in which solar reflections are geometrically possible, but there is adequate screening in place such that reflections are not expected to be experienced in practice. There are 17 receptors where solar reflections are possible and there is not

adequate screening in place, but due to the maximum length of time the solar reflections are predicted in a day, and the duration at which they occur across a year, these receptors are deemed to receive solar reflections of low impact and as such no mitigation is required.

Finally, there are 38 receptors in which a moderate impact due to solar reflections is predicted. In all instances this is due to solar reflections being predicted for longer than 3 months each year without adequate screening providing mitigation. Accordingly, further assessment has been undertaken to consider three factors: panel visibility, sun position and separation distance. For each receptor at which a moderate impact is predicted, when these additional factors are considered, it has been deemed that the impact of the solar reflections has been diminished such that mitigation measures are not required.

Environmental Protection officers have raised no objections in relation to this subject to a condition in relation anti-reflective panels to be placed where there is moderate impact to ensure that impact is mitigated.

Roads:

After detailed topographical analysis with high resolution terrain data and additional screening features along with the assessment methodology, a total of 13 road receptors were determined in which the magnitude of impact is high and therefore mitigation is required. In this instance mitigation in the form of screening is proposed. The proposed mitigation measures are receptor specific and include new screening, in-fill screening, and vegetation management. Highway officers have also not raised any objections in relation to this.

Canal:

The Glint and Glare Assessment submitted does not consider the potential impacts upon the amenity of the canal or tow path users because no permanent or temporary residential moorings have been identified within 1km of the proposed development and because of the slow-moving nature of canal boat travel.

The applicant submitted a landscape summary in support of the proposals. The Canal and River Trust state that the provision of landscape planting will probably be able to provide sufficient screening to minimise any glint and glare impacts. An updated Glint and Glare Assessment is required and will be conditioned to be provided prior to the submission of the landscaping layout.

The Canal and River Trust have no objections to this as any identified harmful impacts on canal users can be addressed through provision of tree/hedgerow planting.

The potential effect of construction of the access track and its subsequent use by vehicle on the nearby canal infrastructure is a material planning consideration. The Canal and River Trust would like a Construction method statement for works close to the canal to ensure no detrimental impact occurs and the appropriate measures are in place.

Residential Amenity and Health Impacts

Paragraph 180 (e) of the NPPF (2023) requires, amongst other things, that planning decisions should contribute to and enhance the natural and local environment by preventing new and existing development from contributing to, being put at unacceptable risk from, or being adversely affected by, unacceptable levels of soil, air, water or noise pollution or land instability. It goes on to state that development should, wherever possible, help to improve local environmental conditions such as air and water quality.

Paragraph 191 of the NPPF (2023) states that planning decisions should also ensure that new development is appropriate for its location taking into account the likely effects (including cumulative effects) of pollution on health, living conditions and the natural environment, as well as the potential sensitivity of the site or the wider area to impacts that could arise from the development. In doing so they should:

- a) mitigate and reduce to a minimum potential adverse impact resulting from noise from new development – and avoid noise giving rise to significant adverse impacts on health and the quality of life;
- b) identify and protect tranquil areas which have remained relatively undisturbed by noise and are prized for their recreational and amenity value for this reason; and
- c) limit the impact of light pollution from artificial light on local amenity, intrinsically dark landscapes and nature conservation.

The main impact issues when having regard to residential amenity are considered to be impacts upon visual amenity, privacy and outlook. Consideration has however also been given to the impacts arising from the construction and decommissioning periods, as well as health impacts.

Visual Impacts:

With regard to visual effects, there are a number of properties along Lentons Lane, Alderman's Green Road within the vicinity of the site. The submitted LVA sets out the visual effects on residential properties.

Major effects will be experienced by visual receptors in houses along Lenton's Lane in Alderman's Green, during construction and at year 1 of operation. This is due to the high sensitivity of residents and the proximity of the proposed development, which will replace views of farmland to the south. At year 15 of operation proposed planting along the northern site boundary will filter views into the site, and effects will reduce to moderate. Residents at Lenton's Lane Farm, who will be enclosed by the proposed development, will experience major effects during construction and at years 1 and 15.

Major effects will also be experienced by recreational receptors on the Oxford Canal and Oxford Canal Walk, during construction and at year 1 of operation. Although existing

vegetation screens and filters views of the site from most of the canal, there are some sections with close and open views into parts of the site. Effects will reduce to moderate at year 15 once proposed planting has matured; this planting will filter views of the development but also remove longer-distance views.

Minor effects will be experienced by recreational receptors in Hawkesbury Village Green during construction and at years 1 and 15 of operation, due to the screening of outward views by enclosing vegetation.

The proposed solar panels are to be located east to the properties on Aldermans Green Road in which the solar panels will be located at a distance of circa 18.0 metres away from these properties given the screening from the trees and hedges the proposed solar panels are not considered to be prominent to impact the amenity of these occupiers.

It is therefore considered that the proposal would result in significant effects on views, but only in views from certain windows, most of which would be at first floor level. The growth of the proposed planting, in some cases, can be expected to reduce the visibility of the development in most of these views with the effects reducing over time. None of the views available from the properties would be blocked by the proposal. On balance, the development is not considered to result in any unacceptable impacts upon the visual amenity of residents to warrant refusal of the application on this basis.

Overbearing Impacts:

With regard to overbearing effects, the low stature of the panels means that the proposals would not have an overbearing effect upon neighbouring properties.

Privacy:

In relation to privacy the proposed CCTV cameras would be located mostly to the perimeter of the proposed site. It is not considered that the CCTV cameras would be capable of any substantive overlooking of neighbouring properties or private amenity spaces. Full details will be required and conditioned.

Construction Impacts:

The construction phase of the development is expected to last a duration of approximately 7 months and planning permission is sought for a temporary operational period of 40 years. The site would be fully decommissioned, and land restored at the end of the temporary planning permission period. Whilst the construction and decommissioning periods would result in additional comings and goings to the site and an increased level of noise and disruption for nearby occupants, the impacts would not be significant to result in any unacceptable amenity impacts to neighbouring occupants to warrant a refusal of planning permission. In addition, the impacts arising from the construction and decommissioning periods are a temporary manifestation of any development project and would not represent a reason to resist the scheme. The Council would be able to control

the construction and decommissioning periods and traffic impacts through the imposing conditions.

Noise:

In respect of noise, the proposed control building, and inverters generate a slight hum during operation, however this would be contained within the site boundary with the panels themselves silently converting solar irradiation to electricity.

Health Impacts:

Having reviewed the submitted Health Impact Assessment Screening Report, it has been demonstrated that the proposed development would not overall give rise to negative impacts in respect of health and wellbeing. Public Health officers have raised no objections to the proposals.

Overall, subject to the imposition of conditions, the application is not considered to result in any unacceptable impacts upon neighbouring land uses, residential amenity or health impacts.

Other Matters

Air Quality

As the traffic flows associated with the site would be minimal post the construction phases of the development and owing to the sustainable nature of the development itself, air quality mitigation measures would not be necessary in this instance.

Other concerns raised

The following have also been received in respect of this application:

- Concerns have been raised that correct notices have not been served given the applicant has sign certificate B within the application form. The applicant confirmed that the correct notices were issued however, for transparency purposes these were reissued, and the notices were sent via Royal Mail (with tracking) on 20th December 2023 and officers have confirmation that all parties have received this.
- Residents have raised concerns that this development will result in an increased Fire Risk. The applicant has confirmed that there will be no batteries stored on site of there to be a risk of fire. West Midlands fire Services have also confirmed that they have no objections subject to an informative.

- Officers received a representation regarding the loss of agricultural land which is dealt within the report above.
- concerns in relation to the current occupier's personal circumstances and hardship caused by the proposed development. The representation raises that sufficient concern to ensure that the personal circumstances, hardship and difficulties of the occupier are addressed as a material consideration. It also references case law including R v Vale of Glamorgan District Council (ex parte Adams) [2000] and Westminster City Council v Great Portland Estates plc [1985] in support of this position. These cases established the principle that the personal circumstances of the occupier of premises could exceptionally be taken into account as material considerations when determining planning applications. Lord Scarman put it in the 1985 Westminster case that:

“Personal circumstances of an occupier, personal hardship, the difficulties of businesses which are of value to the character of a community are not to be ignored in the administration of planning control. It would be inhuman pedantry to exclude from the control of our environment the human factor. The human factor is always present, of course, indirectly as the background to the consideration of the character of land use. It can, however, and sometimes should, be given direct effect as an exceptional or special circumstance. But such circumstances, when they arise, fall to be considered not as a general rule but as exceptions to a general rule to be met in special cases. If a planning authority is to give effect to them, a specific case has to be made and the planning authority must give reasons for accepting it. It follows that, though the existence of such cases may be mentioned in a plan, this will only be necessary where it is prudent to emphasise that, notwithstanding the general policy, exceptions cannot be wholly excluded from consideration in the administration of planning control”.

- Officers have given due regard to the personal circumstances and it is recognised that the occupier has an agricultural tenancy regulated by the Agricultural Holdings Act 1986. The proposed solar farm development may have some impact on the current occupier who uses the land for agricultural purposes. There is the potential for agricultural land use in the form of sheep grazing in tandem with solar energy generation, this is a matter for the occupier and land owner to resolve. Whilst the impact on the occupier maybe significant, when considered against the wider impacts and the public benefits of proposals as set out in this report. it is considered that limited weight should be given to personal hardship which may be suffered. Members are however encouraged to satisfy themselves in reaching their decision as to whether any exceptional or special circumstances exist.
- Matters regarding the tenancy agreement is a civil matter between the applicant and tenant. This is not a material planning consideration.

Equality implications:

Section 149 of the Equality Act 2010 created the public sector equality duty. Section 149 states: -

(1) A public authority must, in the exercise of its functions, have due regard to the need to:

- a) eliminate discrimination, harassment, victimisation and any other conduct that is prohibited by or under this Act;
- b) advance equality of opportunity between persons who share a relevant protected characteristic and persons who do not share it;
- c) foster good relations between persons who share a relevant protected characteristic and persons who do not share it.

Officers have taken this into account and given due regard to this statutory duty, and the matters specified in Section 149 of the Equality Act 2010 in the determination of this application.

There are no known equality implications arising directly from this development.

CONCLUSION

The applicant considers there are very special circumstances that justify the proposed development within the Green Belt. It is considered that the potential harm to the Green Belt by reason of inappropriateness would be clearly outweighed by other considerations.

It is well established in case law that the definition of very special circumstances does not mean that they need to be rare or uncommon. In *R (Basildon District Council) v First Secretary of State and Temple* [2004] it was stated that "...in planning, as in ordinary life, a number of ordinary factors may when combined together result in something very special. Whether any particular combination amounts to very special circumstances for the purposes of PPG22 will be a matter for the planning judgement of the decision-taker."

This view was supported in the judgement of Lord Justice Wilson in *Wychavon District Council v secretary of State for Communities & Local Government & Ors* [2008] where it was held that "...in my view the judge was wrong, with respect, to treat the words 'very special' in the paragraph 3.2 of the guidance as simply the converse of 'commonplace'. Rarity may of course contribute to the 'special' quality of a particular factor, but it is not essential, as a matter of ordinary language or policy. The word 'special' in the guidance connotes not a quantitative test but a qualitative judgement as to the weight to be given to the particular factor for planning purposes.

The scheme would result in harm to the Green Belt from inappropriateness and loss of openness to which substantial weight is afforded. In addition, the scheme would result in

harm to the landscape and would convey visual harm to the area when having regard to the scale of the scheme, the findings set out within the submitted LVA, as well as the presence of Public Rights of Way. Such harm, given the mitigation proposed in the form of planting, as well as the temporary nature of the proposal, should be afforded moderate weight against the proposal in the planning balance. The less than substantial harm arising to the setting of the heritage assets would also need to be weighed against the public benefits of the proposal.

Other matters identified raise issues that either result in no harm or raise technical matters which would be adequately addressed through the imposition of planning conditions to mitigate the harm.

The NPPF (2023) identifies that renewable energy projects in the Green Belt will comprise inappropriate development. In such cases, developers will need to demonstrate very special circumstances which could include the wider environmental benefits associated with the increased production of energy from renewable sources. Such support would not confer an automatic approval of renewable schemes within the Green Belt. Consideration must be given to the range of issues relating to the presumption against inappropriate development in the Green Belt and the harm arising from the proposal.

There is an indisputable need for renewable energy development; reference is made to the NPPF which states that local authorities should not require applicants to demonstrate the overall need for renewable or low carbon energy and recognise that even small-scale projects provide a valuable contribution to cutting greenhouse gas emissions.

The only logical conclusion to be taken from the acknowledged climate crisis is that a dramatic increase in sources of renewable energy supply is needed without further delay; to wait in the hope that a more suitable site or proposals as yet unidentified will come forward would be to accept the consequences of inaction resulting in carbon emissions continuing to be released at or above current rates.

The proposed development would deliver a renewable energy facility that would create up to 30 MW of power. This would provide power for approximately 7,650 households and result in carbon saving of 7,080 tonnes of CO₂ per annum which would help to combat climate change and would support the Government's policy for the UK's transition to achieving a low carbon economy and assists in meeting the UK's legally binding obligations for Net Zero carbon emissions by 2050.

The benefit of renewable energy attracts substantial weight in favour of the proposal. These benefits arising from the scheme would contribute to the ability to meet the requirements and aims of the Paris Agreement, the Climate Change Act 2008, Net Zero target, Net Zero Strategy and the 2022 Committee on Climate Change Progress Report to Parliament. The benefits are also clearly defined within section 14 of the NPPF (2023) which seeks to increase the use and supply of renewable energy and maximise the

potential for suitable development to come forward. It is considered that the delivery of suitable renewable energy schemes is fundamental in facilitating the transition to a low carbon future.

With regard to the landscape impacts, it is noted that the proposal would result in harm as set out in the above report, however, there are other interventions viewed within the context of the site to including existing powerlines and pylons. This feature enables the area to accommodate a degree of change where other locally approved solar farms would contribute to the visual evolution of the appearance of the area.

A solar farm development requires grid capacity and a viable connection to the grid to operate. This requirement places a locational restriction on site selection which limits the number of appropriate sites which would be suitable to accommodate such a facility. The possibility of a viable connection being made means that the site is placed in an advantageous location.

It should also be recognised that the scheme would result in a significant biodiversity net gain, specifically a net gain of 165.46 habitat units which is a 149.49% increase from the baseline units and a net gain of 17.09 hedgerow units which is a 43.08% increase from the baseline units. Such a gain would be a benefit arising from the scheme and planning conditions are recommended to be attached to ensure monitoring of the biodiversity value of the site. This benefit of the scheme should be afforded moderate weight in favour of the proposal.

The development and use of land is for a temporary period of 40 years from the date of first export of electricity from the site. Unlike other forms of development which by their nature are more permanent, the proposal would not result in the permanent loss of or removal of Green Belt land.

The proposals allow for the continued use of the land for grazing; the dual renewable energy/agricultural use has been successfully adopted for numerous solar schemes and allows the land to remain in agricultural production throughout the life of the development.

A recent study (Ground Mounted Solar Farms and Agricultural Land: The Facts published by Solar UK Ltd in December 2022) undertaken shows that solar development can have a positive influence on food production through a number of ways, including, by addressing climate change, which is the single biggest threat to food security, by cutting costs which in turn keeps farmers in business, by preserving agricultural land and supporting soil recovery, and by delivering a variety of ecological enhancements.

The public and other benefits arising from the scheme are considered to be of a sufficient magnitude to outweigh the harm arising to the Green Belt, landscape, visual and the less than substantial harm arising to the heritage assets as identified in the above report. The benefits set out, cumulatively, would attract very substantial weight in favour of the

proposal. The harm identified to the Green Belt would be clearly and demonstrably outweighed by other considerations identified and the very special circumstances necessary to justify the development are considered to exist. The proposals are therefore compliant with policies GB1 and EM3 of the Coventry Local Plan 2016 and the National Planning Policy Framework (2023).

Overall, it is considered that the proposed solar farm would result in a substantial benefit in terms of sustainable energy production, and it is considered that the various harms identified in the above report and the adverse impacts which would arise as a result of approving the scheme would be outweighed by the very significant benefits. As such, based on a balancing exercise of positive benefits against the harms identified, it is considered that the scheme is acceptable and would represent sustainable development in accordance with the NPPF (2023) and the Council's Development Plan.

For the above reasons, it is recommended that planning permission be granted, subject to conditions and the secretary of state not wishing to intervene.

CONDITIONS/REASONS

1.	The development hereby permitted shall begin not later than 3 years from the date of this decision.
Reason	<i>To conform with Section 91 of the Town and Country Planning Act 1990 (as amended)</i>
2.	The planning permission hereby granted shall be for a temporary period only, to expire 40 years and six months after the first export date of the development. Written confirmation of the first export date shall be provided to the Local Planning Authority within one month after the event. The use shall cease and any enabling works be removed from the site and the land restored to its former condition in accordance with a scheme which shall have first been submitted to and approved in writing by the Local Planning Authority.
Reason	<i>The Local Planning Authority considers that a permanent planning permission is not appropriate in this case because of the temporary nature of the use which would not accord with Policy DE1 and GB1 of the Coventry Local Plan 2016. However, this permission is granted for a limited period only in the recognition of the particular circumstances of the proposal concerned.</i>
3.	Within 6 months of the cessation of the export of electrical power from the site, or within a period of 40 years and 6 months following the first export

	<p>date, whichever is the sooner, the solar farm and all ancillary equipment, structures and fencing shall be dismantled and removed from the site and the land restored back to a condition suitable for exclusive agricultural use, in accordance with a scheme first submitted to and approved in writing by the Local Planning Authority. The scheme shall make provision for the removal of the solar panels and associated above ground works approved under this permission. The scheme shall also include:</p> <p>(a) the management and timing of any works and a traffic management plan to address likely traffic impact issues during the decommissioning period;</p> <p>(b) methods to prevent mud and debris on the highway;</p> <p>(c) areas for the parking of contractors and visitors;</p> <p>(d) areas for the loading and storage of materials;</p> <p>(e) details of measures to be taken during the decommissioning period to protect wildlife and habitats;</p> <p>(f) details of site restoration measures to a condition suitable for exclusive agricultural use.</p> <p>The decommissioning of the site shall be undertaken in full accordance with the agreed details and timeframe.</p> <p>The operator of the solar farm shall notify the Council in writing no later than five working days following the cessation of electricity generation.</p>
Reason	<p>To safeguard the amenities of nearby occupiers, highway safety and to restore the site back to its former use in accordance with Policies DE1, GB1, AC1 and AC2 of the Coventry Local Plan 2016.</p>
4.	<p>The development hereby permitted shall be carried out in accordance with the following approved plans:</p> <p>Location Plan-DWG-SK00-003</p> <p>Layout Plan-DWG-SK01-003</p> <p>Tracking DWG SK01 Rev 0</p> <p>Tracking DWG SK02 Rev 0</p> <p>Tracking DWG SK03 Rev 0</p> <p>Tracking DWG SK04 Rev 0</p> <p>Proposed Track-1-DWG-SK02A-003</p> <p>Proposed Track-2-DWG-SK02B-003</p> <p>Proposed Track 3 1-of-2-DWG-SK02C-003</p> <p>Proposed Track 3 2-of-2-DWG-SK02D-003</p> <p>Proposed Track 4 1-of-3-DWG-SK02E-003</p> <p>Proposed Track 4 2-of-3-DWG-SK02F-003</p> <p>Proposed Track 4 3-of-3-DWG-SK02G-003</p> <p>Proposed Widening-DWG-SK02-003</p> <p>Swept Path Assessments-DWG-SK03-P1</p>

	<p>Swept Path Assessments-DWG-SK03A-P1 Typical Track Construction-DWG-SK04-P1 Indicative Solar Panels-DWG-SK04C-P1 Indicative Inverter Container-DWG-SK04D-P1 Indicative Fence-DWG-SK04B-P1 Indicative Control Station-DWG-SK04A-P1 Indicative Construction Compound-DWG-SK04E-P1 Fence Boundary Plan-DWG-SK05-003 Cable Connection Plan-DWG-SK06-003 Consultation Enhancement Plan-DWG-SK07-P1 Consultation Enhancement Plan-DWG-SK07A-P1 Proposed Landscaping Summary- West Area DWG SK07 Rev 0 Proposed Landscaping Summary- East Area DWG SK07A Rev 0 Illustrative Cross Section C-C View- DWG-SK10-001 Illustrative Cross Section D-D View- DWG-SK11-001 Illustrative Cross Section E-E View- DWG-SK12-001 Biodiversity Net Gain Assessment- September 2023 12102 Coventry Solar Farm Biodiversity-Metric-3 1 Final calculations 12102 Coventry Solar Farm Biodiversity Metric-3 1-Second Scenario Recommendations Biodiversity Calculations River Enhancement Ecological Appraisal- December 2023 Agricultural Land Classification Report- December 2022 Glint and Glare Assessment- May 2023 Arboricultural Impact Assessment- January 2024 Preliminary Risk Assessment– Rev P02 Flood Risk Assessment – Rev P03 Landscape and Visual Appraisal- May 2023 Planning Statement- May 2023 Construction Traffic Management Plan- November 2023 Construction Environmental Management Plan (CEMP) Archaeological Desk-Based Assessment- Report No 4354- December 2023 Health Impact Assessment- August 2023</p>
Reason	<i>For the avoidance of doubt and in the interests of proper planning</i>
5.	<p>Notwithstanding the details submitted, nor the approved plans contained in Condition 4, prior to their erection on site, details of the proposed materials and finish including colour of all solar panels, frames, ancillary buildings, containers, fencing, CCTV and enclosures shall be submitted to and approved in writing by the Local Planning Authority. Development shall be carried out in accordance with the approved details and be maintained as such for the lifetime of the proposed development, unless otherwise agreed in writing by the Local Planning Authority.</p>

Reason	<i>To ensure that the proposed development has a satisfactory external appearance in the interests of the visual amenities of the area in accordance with Policy DE1 of the Coventry Local Plan 2016.</i>
6.	An investigation and risk assessment (in addition to any assessment provided with the planning application), must be completed in accordance with a scheme to assess the nature and extent of any contamination on the site; whether or not it originates on the site; and any report of the findings must be submitted to and approved in writing by the local planning authority prior to the commencement of development (including any demolition). The report of the findings, to be conducted in accordance with Environment Agency Guidance Land Contamination: Risk Management (2021) and must include (i) a survey of the extent, scale and nature of contamination; (ii) an assessment of the potential risk to; human health, property (existing or proposed) including buildings, crops, livestock, pets, woodland and service lines and pipes, adjoining land, groundwaters and surface waters, ecological systems, archaeological sites and ancient monuments; (iii) an appraisal of remedial options and proposal of the preferred option(s)
Reason	<i>To safeguard health, safety and the environment in accordance with Policy EM6 of the Coventry Local Plan 2016 and the aims and objectives of the NPPF</i>
7.	The development shall only be undertaken in accordance with a detailed remediation scheme to bring the site to a condition suitable for the intended use by removing unacceptable risks to human health, buildings and other property and the natural and historical environment, which shall be submitted to and approved in writing by the local planning authority. The scheme must include all works to be undertaken, proposed remediation objectives and remediation criteria, timetable of works and site management procedures. The scheme must ensure that the site will not qualify as contaminated land under Part 2A of the Environmental Protection Act 1990 in relation to the intended use of the land after remediation.
Reason	<i>To safeguard health, safety and the environment in accordance with Policy EM6 of the Coventry Local Plan 2016 and the aims and objectives of the NPPF</i>
8.	The approved remediation scheme must be carried out in accordance with its terms prior to the commencement of development other than that required to carry out the remediation. The Local Planning Authority must be given two weeks written notification of commencement of the remediation scheme works.

Reason	<i>To safeguard health, safety and the environment in accordance with Policy EM6 of the Coventry Local Plan 2016 and the aims and objectives of the NPPF</i>
9.	Prior to occupation of the development hereby permitted and following completion of the measures identified within the remediation scheme approved under condition No. 8, a verification report that demonstrates the effectiveness of the remediation carried out must be produced and submitted to the Local Planning Authority for approval in writing
Reason	<i>To safeguard health, safety and the environment in accordance with Policy EM6 of the Coventry Local Plan 2016 and the aims and objectives of the NPPF</i>
10.	In the event that contamination is found at any time when carrying out the approved development, which was not previously identified, it must be reported in writing immediately to the Local Planning Authority. An investigation and risk assessment must be undertaken in accordance with the requirements of condition 6, and where remediation is necessary a remediation scheme must be prepared in accordance with the requirements of condition 7, which shall be submitted to and approved in writing by the Local Planning Authority. Following completion of measures identified in the approved remediation scheme a verification report must be prepared, which is subject to the approval in writing of the Local Planning Authority in accordance with condition 9.
Reason	<i>To safeguard health, safety and the environment in accordance with Policy EM6 of the Coventry Local Plan 2016 and the aims and objectives of the NPPF</i>
11.	No works to construct the proposed access track within the application site shall take place until a Method Statement detailing the means of construction of the track, including any proposed earth moving or excavation works required in connection with its construction has first been submitted to and agreed in writing by the Local Planning Authority. The Method Statement shall identify and incorporate any measures required to avoid the risk of adversely affecting the stability of nearby embankment and cutting slopes associated with the Oxford Canal (such as vibration monitoring or establishment of stand-off distances for operating plant or machinery during construction work) or provide sufficient information to demonstrate that no risk to the stability of these structures will occur, both during construction operations and also during subsequent operational

	use of the track by vehicles. The development shall thereafter only be carried out in accordance with the agreed Method Statement.
Reason	<i>In the interests of avoiding the risk of creating land instability arising from any impacts from works to construct the access track or subsequent use of the track which could adversely affect the stability of embankment and cutting slopes associated with the Oxford Canal in accordance with the advice and guidance on land stability contained in paragraphs 174 and 183 of the National Planning Policy Framework and in the National Planning Practice Guidance.</i>
12.	A Glint and Glare Assessment (in addition to any assessment provided with the application) shall be a completed in accordance with the scheme to assess the impacts upon the amenity of the canal or tow path users shall be submitted and approved in writing by the local planning authority prior to the submission of the landscaping scheme/ layout. All works shall be implemented in strict accordance with the approved mitigation works and shall not be removed or altered in any way.
Reason	<i>To ensure that there is no detrimental impact with regards to glint and glare upon the amenity of the canal or tow path users in accordance with the National Planning Policy Framework.</i>
13.	The development hereby permitted shall not be occupied unless and until the access to the site, manoeuvring space(s) and car parking area(s) indicated on the approved drawings have been provided in full accordance with those details and thereafter those areas shall be kept marked out and available for such use at all times.
Reason	<i>In the interests of highway safety in accordance with the aims and objectives of Policies AC1, AC2 and AC3 of the Coventry Local Plan 2016.</i>
14.	No use of the solar farm hereby permitted shall commence unless and until details of road directional signage and road markings have been submitted to and approved in writing by the Local Planning Authority. The signage and road marking shall be installed in full accordance with the approved details prior to first occupation of the solar farm and thereafter retained and shall not be removed or altered in any way.

Reason	<i>In the interests of highway safety in accordance with Policies AC1 and AC2 of the Coventry Local Plan 2016.</i>
15.	The development hereby permitted shall be carried out in accordance with the Construction Traffic Management Plan (November 2023) prepared by Pell Frischmann at all times, unless otherwise agreed in writing by the Local Planning Authority.
Reason	<i>In the interests of highway safety in accordance with the aims and objectives of Policies AC1, AC2 and AC3 of the Coventry Local Plan 2016.</i>
16.	<p>No development (including any demolition or preparatory works) shall take place unless and until an Access Management Plan (AMP) has been submitted to approved in writing by the local planning authority. This shall include:</p> <p>a) Details of any temporary or permanent diversion of public rights of way in the area b) Any signage required for temporary diversions c) Details of how public users of the public rights of way will be accommodated while the works are carried out. d) Full details of work being carried out on the public rights of way to accommodate access it the development site. e) Details of delap surveys.</p> <p>The development shall only proceed in full accordance with these approved details.</p>
Reason	<i>The agreement of a Access Management Plan prior to the commencement of development is fundamental to ensure to minimise disturbance to local residents using footpaths during the construction process in accordance with Policies AC2 and AC4 of the Coventry Local Plan 2016.</i>
17.	<p>The occupation of the development hereby permitted shall not begin until:</p> <p>(a) the local planning authority has approved in writing a full scheme of works of improvement to the Public Footpath from Lenton's Lane which connects to the public footpath to the Cruising Club and</p> <p>(b) the approved works have been completed in accordance with the local planning authority's written approval and have been certified in writing as complete on behalf of the local planning authority; Unless alternative</p>

	arrangements to secure the specified works have been approved in writing by the local planning authority.
Reason	<i>In the interests of public safety and amenity in accordance with Policies DS4, DE1, AC1 and AC2 of the Coventry Local Plan 2016.</i>
18.	Prior to their installation/ planting, details of both hard and soft landscaping works shall be submitted to and approved in writing by the Local Planning Authority. Details of hard landscaping works shall include boundary treatment, including full details of the proposed boundary walls, railings and gates to be erected, specifying the type of bricks and colour of the railings and gates; footpaths; and hard surfacing (which shall be made of porous materials or provision shall be made to direct run-off water from the hard surface to a permeable or porous area). The hard landscaping works shall be completed in strict accordance with the approved details within three months of energy generation at the solar farm hereby permitted; and all planting shall be carried out in accordance with the approved details within the first planting and seeding seasons following the first energy generation. Any tree(s) or shrub(s) which within a period of five years from the completion of the development dies, is removed or becomes; in the opinion of the Local Planning Authority; seriously damaged, defective or diseased shall be replaced in the next planting season with another of similar size and species. All hedging, tree(s) and shrub(s) shall be planted in accordance with British Standard BS 8545:2014 Trees: from nursery to independence in the landscape - Recommendations and BS4428 - Code of Practice for General Landscape Operations.
Reason	<i>To ensure a satisfactory standard of appearance of the development in the interests of the visual amenities of the area in accordance with Policies GE1 and DE1 of the Coventry Local Plan 2016.</i>
19.	Prior to the commencement of development, a method statement detailing the control of emissions into the air during the demolition/construction phase should be submitted to and approved in writing by the Local Planning Authority. The method statement should accord with the Best Practice Guidance - 'The control of dust and emissions from construction and demolition' and include:- a) proposed hours of work; b) map with nearest receptors and distances for dust and noise; c) noise impact on nearest neighbours and control measures as required; d) monitoring methods and measurement locations for dust and noise recording details; e) dust mitigation measures; f) contact details for responsible persons and site personnel training; and g) information provision and liaison with local residents. The development shall only proceed in full accordance with the approved details.

Reason	<i>To protect the amenity of the occupiers of neighbouring residential occupiers in accordance with Policy EM7 of the Coventry Local Plan 2016.</i>
20.	Except for emergency works, construction works and deliveries to the site shall not take place outside 08:00 hours to 18:00 hours Mondays to Fridays, and 08:00 hours to 13:00 hours on Saturdays, and at no time on Sundays or Bank Holidays.
Reason	<i>To safeguard the amenities of nearby occupiers in accordance with Policy DE1 of the Coventry Development Plan 2016.</i>
21.	Prior to energy generation at the solar farm hereby permitted, details of the CCTV cameras and their locations within the site shall be submitted to and approved in writing by the Local Planning Authority. The CCTV cameras shall be installed in full accordance with the approved details prior to first energy generation at the development and thereafter shall be retained and shall not be removed or altered in any way.
Reason	<i>To safeguard the amenities of the adjoining occupiers of the development in accordance with Policy DE1 of the Coventry Local Plan 2016.</i>
22.	No removal of trees/ hedges/shrubs/ or demolition of buildings/ structures shall take place between 1st March and 31st August (inclusive) unless a survey to assess the nesting bird activity on the site during this period has been undertaken by a qualified surveyor, and a scheme to protect any nesting birds identified on the site has first been submitted to and approved in writing by the Local Planning Authority. No trees/ hedges/ shrubs shall be removed, or buildings/structures shall be demolished between 1st March and 31st August (inclusive) other than in strict accordance with the approved bird nesting protection scheme.
Reason	<i>To ensure that protected species are not harmed by the development in accordance with Policy GE3 of the Coventry Local Plan 2016 and the advice contained within the NPPF 2023.</i>
23.	No development (including any demolition or preparatory works) shall commence unless and until a further bat survey of the site has been submitted to and approved in writing by the Local Planning Authority. This shall include appropriate activity surveys in accordance with Bat Conservation Trust: Bat Surveys - Good Practice Guidelines and a detailed mitigation plan including a schedule of works and timings. The approved mitigation plan shall be implemented in full prior to any demolition or preparatory works taking place and thereafter any mitigation

Reason	<i>To ensure that protected species are not harmed by the development in accordance with Policy GE3 of the Coventry Local Plan 2016 and the advice contained within the NPPF 2023.</i>
24.	No development (including any demolition or preparatory works) shall commence unless and until a Biodiversity Method Statement for badgers, bats, birds, reptiles and amphibians, hedgehogs, water vole and otters including Reasonable Avoidance Measures, has been submitted to and approved in writing by the Local Planning Authority. The development shall only be carried out in strict accordance with the approved Biodiversity Method Statement.
Reason	<i>To ensure that protected species are not harmed by the development in accordance with Policy GE3 of the Coventry Local Plan 2016 and the advice contained within the NPPF 2023.</i>
25.	No development (including any demolition or preparatory works) shall commence unless and until a Construction Environmental Management Plan (CEMP) has been submitted to and approved in writing by the Local Planning Authority. The CEMP shall include the following: (a) a risk assessment of potentially damaging construction activities;(b) identification of biodiversity protection zones (e.g. buffers to trees and hedges or to protected wildlife habitat); (c) practical measures (both physical measures and sensitive working practices, such as protective fencing, exclusion barriers and warning signs) to avoid or reduce impacts during construction (particularly in relation to works within canopy and root protection areas for hedgerows or protected trees); (d) the location and timing of sensitive works to avoid harm to biodiversity features (in relation to breeding birds in particular); (e) the times during construction when specialist ecologists need to be present on site to oversee works (as required); (f) responsible persons and lines of communication; and (g) the role and responsibilities on site of an Ecological Clerk of Works (ECoW) or similarly competent person (as necessary). The approved CEMP shall be adhered to and implemented throughout the construction period strictly in accordance with the approved details.
Reason	<i>In order to safeguard protected and/or priority species from undue disturbance and impacts, noting that initial preparatory works could have unacceptable impacts; and in order to secure an overall biodiversity gain in accordance with Policy GE3 of the Coventry Local Plan 2016.</i>
26.	Prior to the first occupation of the development hereby permitted a Landscape and Ecological Management Plan (LEMP) shall be submitted to and approved in writing by the Local Planning Authority. The content of the

	LEMP shall include the following: a) Description and evaluation of features to be managed; b) Ecological trends and constraints on site that might influence management; c) Aims and objectives of management, including mitigation and enhancement for species identified on site; d) Appropriate management option for achieving aims and objectives; e) Prescriptions for management actions; f) Preparation of a work schedule (including an annual work plan capable of being rolled forward over a ten-year period); g) Details of the body or organisation responsible for implementation of the plan, along with funding mechanism(s) for that body or organisation; h) Ongoing monitoring and remedial measures, including where monitoring shows that conservation aims and objectives of the LEMP are not being met. The LEMP plan shall be implemented in strict accordance with the approved details within three months of the first occupation of the development and thereafter shall not be withdrawn or amended in any way.
Reason	<i>In order to safeguard and enhance habitat on or adjacent to the site in order to secure an overall biodiversity gain in accordance with Policy GE3 of the Coventry Local Plan 2016.</i>
27.	No development (including any demolition or preparatory works) shall commence unless and until a scheme ('the offsetting scheme') for the offsetting of biodiversity impacts at the site has been submitted to and approved in writing by the Local Planning Authority, to result in a minimum 10% net gain. The offsetting scheme shall include: a) a methodology for the identification of receptor site(s); b) the identification of receptor site(s); c) details of the offset requirements of the development (in accordance with the recognised offsetting metrics standard outlines in the Defra Metrics Guidance dated March 2012, or any document that may update or supersede that guidance). d) the provision of arrangements to secure the delivery of the offsetting measures (including a timetable for their delivery); and e) a management and monitoring plan (to include for the provision and maintenance of the offsetting measures in perpetuity). The offsetting scheme shall be implemented in strict accordance with the approved details within three months of the first occupation of the development hereby permitted and thereafter shall not be withdrawn or amended in any way.
Reason	<i>In order to safeguard and enhance habitat and secure an overall biodiversity gain in accordance with Policy GE3 of the Coventry Local Plan 2016.</i>
28.	Prior to the installation of any street lighting or any external lighting to be fixed to any building(s), an external lighting strategy (including a plan) shall be submitted to and approved in writing by the Local Planning Authority. The strategy shall demonstrate that lighting shall be kept to a minimum at night in order to minimise impact on emerging and foraging bats, and to

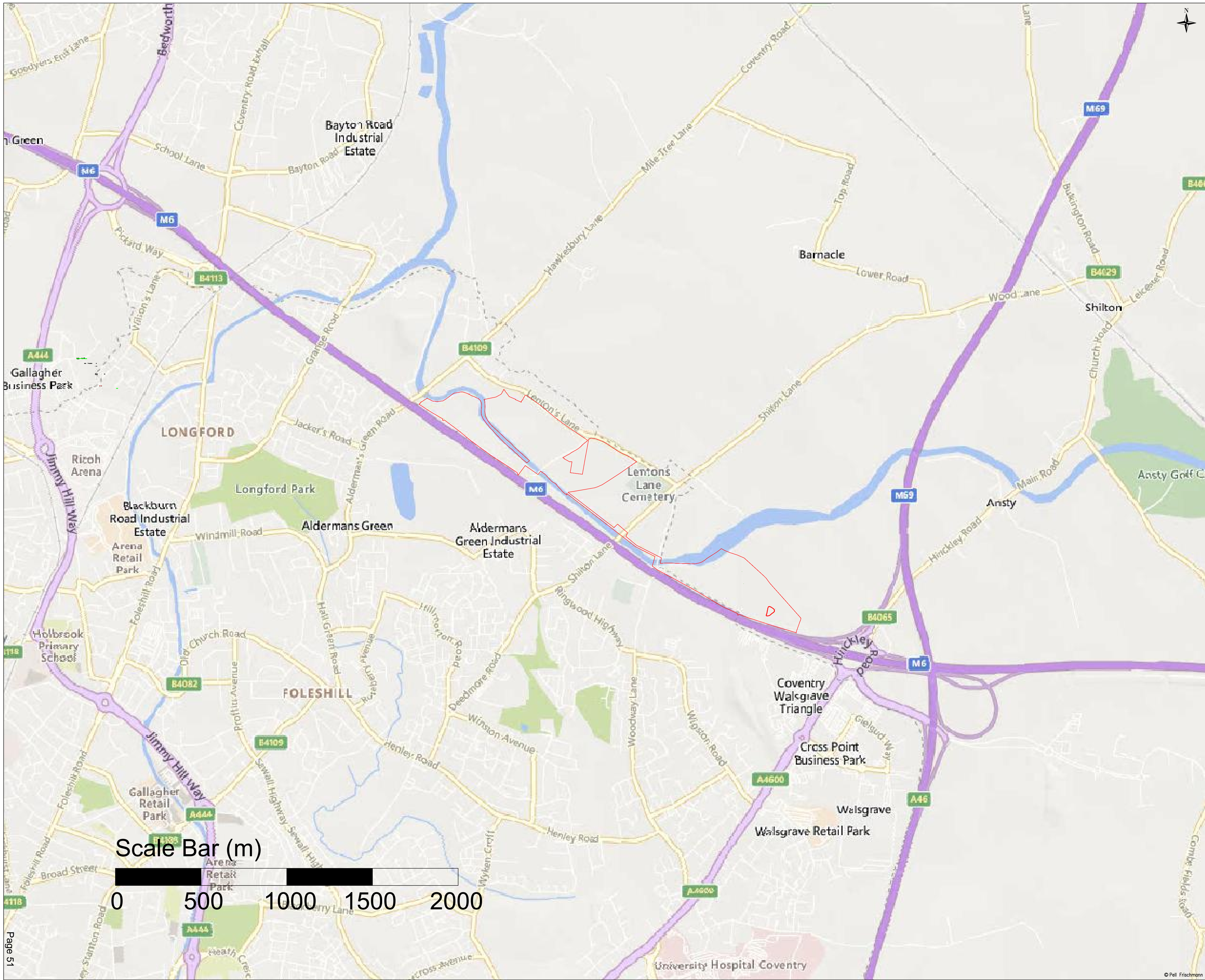
	restrict light spillage onto foraging corridors. The lighting shall be installed in full accordance with the approved strategy and all lighting thereafter shall be subsequently maintained in strict accordance with the approved details.
Reason	<i>To ensure that protected species are not harmed by the development in accordance with Policy GE3 of the Coventry Local Plan 2016 and the advice contained within the NPPF 2023.</i>
29.	No development (including any demolition or preparatory works) shall commence unless and until a walkover badger survey has been undertaken by a qualified ecologist to ensure that there have been no setts created within the application site since the date of the badger survey provided in support of the application. The results of this survey work together with the scope and timing of any necessary mitigation measures shall be submitted to and approved in writing by the Local Planning Authority prior to the commencement of any works. The mitigation measures shall be undertaken in full accordance with the approved details and timetable of works and once undertaken shall not be removed or altered in any way.
Reason	<i>To ensure that protected species are not harmed by the development in accordance with Policy GE3 of the Coventry Local Plan 2016 and the advice contained within the NPPF 2023.</i>
30.	Within one month of the installation and carrying out of any approved badger mitigation and conservation measures submitted, a qualified persons report shall be submitted to the Local Planning Authority to verify completion of the works.
Reason	<i>To ensure that protected species are not harmed by the development in accordance with Policy GE3 of the Coventry Local Plan 2016 and the advice contained within the NPPF 2023.</i>
31.	Prior to the occupation of the development hereby permitted the following drainage details shall be submitted to and approved in writing by the Local Planning Authority: a) An appropriately scaled intrusive ground investigation report must be provided to establish the depth and type of strata, including percolation results in accordance with BRE 365 and identifying the presence and risk associated with migrant or soluble contaminants. Please provide evidence of existing groundwater levels and seasonal variation, in order to inform the drainage design. b) Full details and calculations of the open-air storage or attenuation in the form of a wet pond, dry basin, swale or other similar surface feature, aimed at managing water quantity, quality and introducing biodiversity at the ground surface is required.

	<p>c) The use of infiltration drainage either as above ground (open air) or below ground (buried) – to be accompanied by a full intrusive Geotechnical Site Investigation is required. A detailed strategy document must be submitted to for the long-term inspection and maintenance of the SuDS and other surface water drainage elements on site. It should also mention any notable Health and Safety or specialist training, and special equipment required as part of the routine maintenance.</p> <p>d) The stormwater discharge rates from the development shall be managed in order to reduce flood risk to surrounding sites, downstream areas or the wider environment by means of a flow control mechanism (or mechanisms) limiting the total site discharge offsite to Qbar greenfield rates or 5 l/s, whichever is greater.</p> <p>e) Provisions must be made for the drainage of the site to ensure there are no temporary increases in flood risk, on or off site, during the construction phase, particularly with respect to the planned demolition/construction works and the deposition of silts and cementitious materials.</p> <p>f) Evidence must be provided to show the management of overland flow routes in the event of exceedance or blockage of the drainage system. Details should include demonstration of how the building(s) will be protected in such an event.</p> <p>g) Where new or redevelopment site levels result in the severance, diversion or reception of natural (or engineered) land drainage flow, the developer shall maintain existing flow routes (where there are no flood risk or safety implications) or intercept these flows and discharge these by a method approved by the Local Planning Authority.</p> <p>h) A wayleave of at least 5m must be provided from the top bank of any Ordinary watercourse to the nearest structure. The drainage details shall be installed in full accordance with the approved documentation prior to occupation of the development and thereafter shall be maintained and shall not be removed or altered in any way.</p>
Reason	<p><i>To ensure that adequate drainage facilities are available for the satisfactory and proper development of the site in accordance with policies EM1, EM4 and EM5 of the Coventry Local Plan 2016 and Coventry City Councils adopted Supplementary Planning Document for Delivering a More Sustainable City.</i></p>
32.	<p>Notwithstanding the details submitted, before any development commences on site (including any demolition, site clearance or other preparatory works) the following shall be submitted to and approved in writing by the Local Planning Authority:</p> <p>a) Arboricultural Method Statement (6.1); and</p>

	<p>b)a Dimensioned Tree Protection Plan (to include protection measures during and after construction and any construction exclusion zones) (in accordance with 5.5/ Table B.1), site monitoring (6.3) of British Standard BS5837:2012 - Trees in relation to design demolition and construction - Recommendations, which shall also include any proposal for pruning or other preventative works.</p> <p>The approved mitigation and / or protection measures shall be put into place prior to the commencement of any works and shall remain in place during all construction work.</p>
Reason	<p><i>To protect those trees which are of significant amenity value to the area and which would provide an enhanced standard of appearance to the development in accordance with Policy GE3 and GE4 of the Coventry Local Plan 2016.</i></p>
33.	<p>No development (including any demolition or preparatory works) shall take place unless and until the results of a programme of archaeological investigation (geophysical survey and trial trenching), in accordance with the approved Written Scheme of Investigation, that has been submitted to and approved in writing by the local planning authority, with a detailed mitigation strategy. The strategy shall include details of the following:</p> <ul style="list-style-type: none"> • Method of solar array installation • Cable routing • Construction compound • New road layouts and construction methodology • Areas of preservation due to archaeological significance <p>The report and strategy should contain the proper identification and evaluation of the extent, character and significance of archaeological remains within the application area, an assessment of the impact of the proposed development on the archaeological remains, further phases of archaeological works, where required and details on any programme of public engagement, including open days, during and following any required site works. The development shall only proceed in full accordance with these approved details.</p>
Reason	<p><i>The submission of these details prior to the commencement of development is fundamental to mitigate the effect of the works associated with the development upon any heritage assets in accordance with Policy HE2 of the Coventry Local Plan 2016.</i></p>

34.	Prior to their incorporation into the development details of anti-reflective panels for mitigation from glint and glare shall be submitted to and approved in writing by the local planning authority. These details shall be installed only in full accordance with the approved details prior to energy generation from the development and thereafter shall be retained and shall not be removed or altered in any way.
Reason	<i>To ensure that there is no detrimental impact from glint or glare to the neighbouring occupiers in accordance with Policies DE1 and EM3 of the Coventry Local Plan 2016.</i>
35.	The existing hedges indicated on the approved plan DWG: BHA_5306_02 Sheet 1 -3 within the Arboricultural Impact Assessment- January 2024 to be retained shall not be cut down, grubbed out or otherwise removed or topped or lopped so that the height of the hedge(s) falls below m at any point. Any hedge(s) removed without consent or 2m dying, or being severely damaged or diseased or becomes; in the opinion of the Local Planning Authority; seriously damaged or defective, shall be replaced within the next planting season with hedging, tree(s) and/or shrub(s) of such size and species details of which must be submitted to and approved by the Local Planning Authority. All hedging, tree(s) and shrub(s) shall be planted in accordance with British Standard BS 8545:2014 Trees: from nursery to independence in the landscape - Recommendations and BS4428 - Code of Practice for General Landscape Operations (excluding hard surfaces).
Reason	<i>To protect those landscape features which are of significant amenity value to the area and which would provide an enhanced standard of appearance to the development in accordance with Policies GE3, GE4 and HE2 of the Coventry Local Plan 2016.</i>
36.	The development hereby permitted shall be used for the operation of a solar farm with associated equipment and for no other purposes within the use class or any permitted change to a different use class.
Reason	<i>In the interest of residential and visual amenity and to ensure the details are acceptable to the Local Planning Authority.</i>

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- NOTE:
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 3. ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE BY THE CONTRACTOR PRIOR TO PREPARING ANY WORKING DRAWINGS OR COMMENCING ON SITE.
 4. ALL INDICATIVE LEVELS SHOWN ON SECTION VIEWS WERE DERIVED FROM A DEFRALIDAR DSM (2017) 0.5M RES COMPOSITE SURFACE.
- KEY:

Site Boundary

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Client
 Coventry City Council

Project
 LENTONS LANE SOLAR FARM

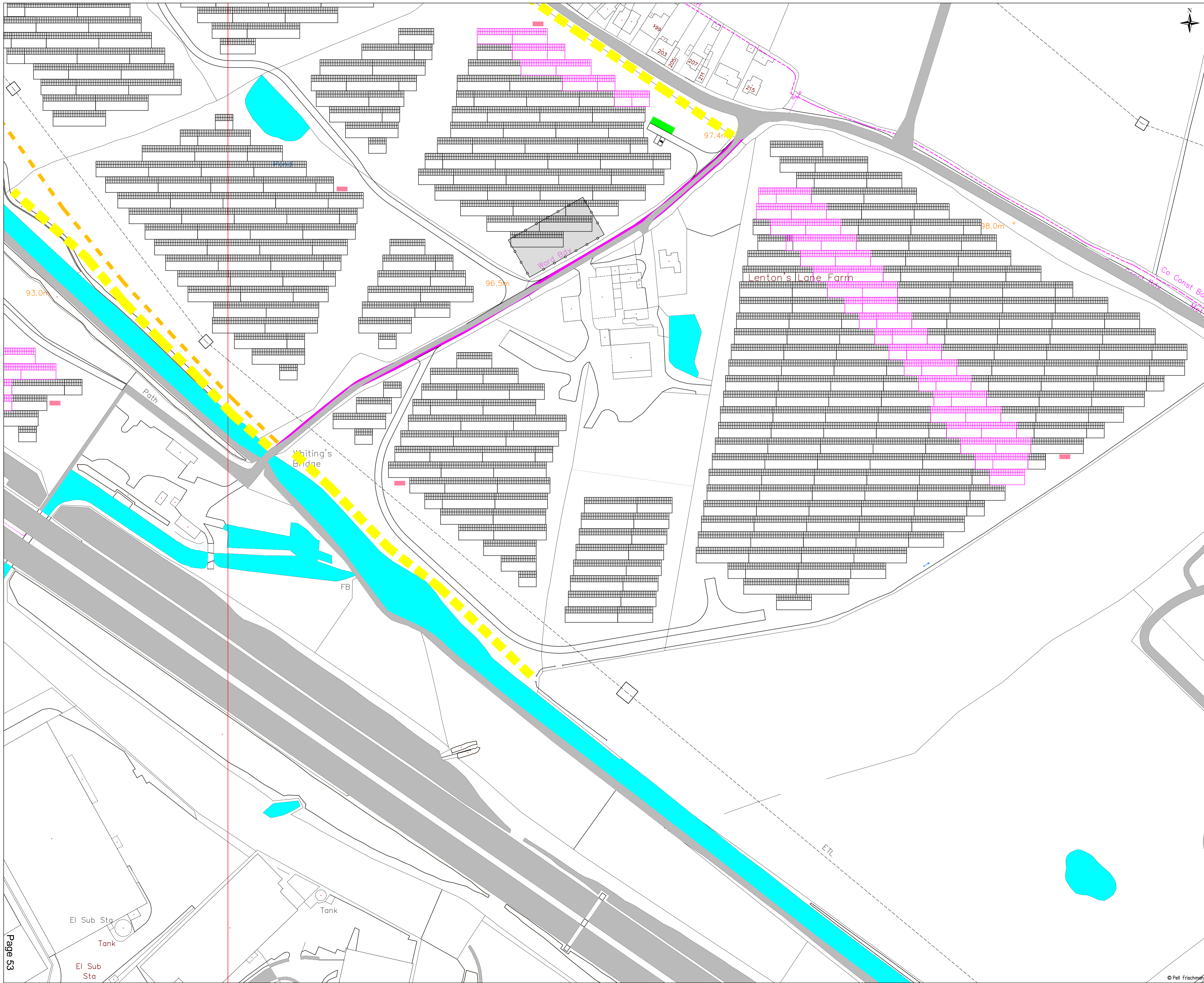
Drawing Title
 Location Plan

Name	Date	Scale	1:10000 © A1
Designed	JS 12.01.2024	File	231223 Lentons Lane Cross Sections
Checked	GB 12.01.2024	Drawing Status	REVISION
Drawing No.	SK00		Revision
			003



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	Drawing Title	FTA Maximum Legal Articulated HGV			Designed	GB	28/09/2023	File No.	230829 Tracking.dwg		
Client	Coventry City Council	SPA Location	Lentons Lane / Site Access Junction			Checked	GCB	28/09/2023	Drawing Status	Issue	
Key	Wheel SPA Body SPA Load SPA Indicative Over-run Over-sail				Point of Interest	4		Drawing No.	SK04	Revision	0
				Notes:			1. All mitigation is subject to confirmation through a test run. 2. This is not a construction drawing and is intended for illustration purposes only.				



- NOTE:
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 2. ALL WORKS TO BE EXECUTED IN ACCORDANCE WITH THE DMRB, THE MANUAL OF CONTRACT DOCUMENTS FOR HIGHWAY WORKS, DESIGN MANUAL FOR ROADS AND BRIDGES, AND TRAFFIC SIGNS MANUAL.
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 8. TO BE READ IN CONJUNCTION WITH STREET LIGHTING DESIGN PACK.

- KEY:
- Rerouted Footpath
 - Enhanced Screening Planting

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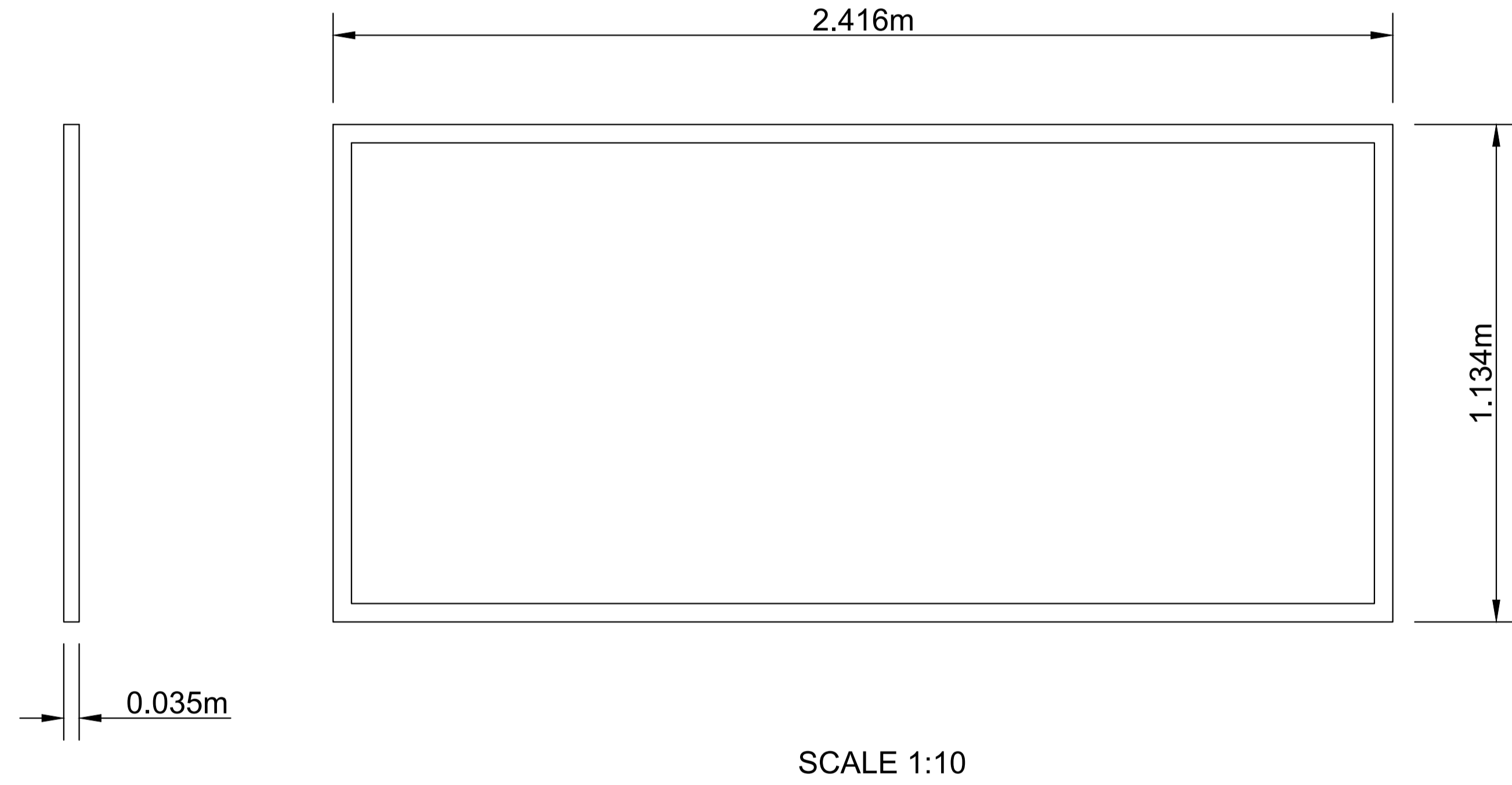
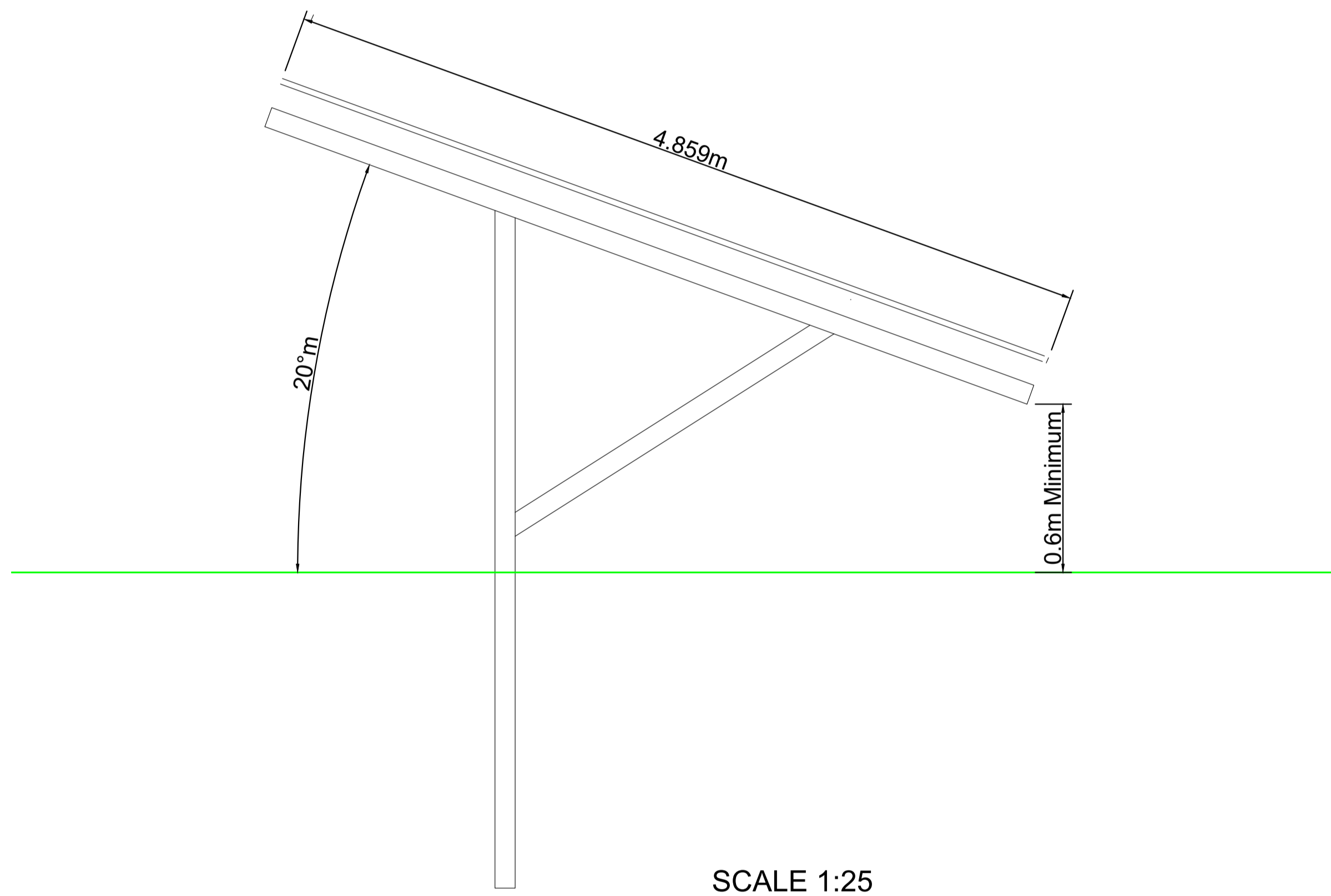
Client
Coventry City Council

Project
LENTONS LANE SOLAR FARM

Drawing Title
Consultation Enhancement Plan

Name	Date	Scale	1" = 1" @ A1
Designed	JS 11.09.2023	File	230816 Coventry Layout
Checked	GB 11.09.2023	Drawing Status	DRAFT
Drawing No.	SK07A		Revision P1

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 8. TO BE READ IN CONJUNCTION WITH STREET LIGHTING DESIGN PACK.
- KEY:



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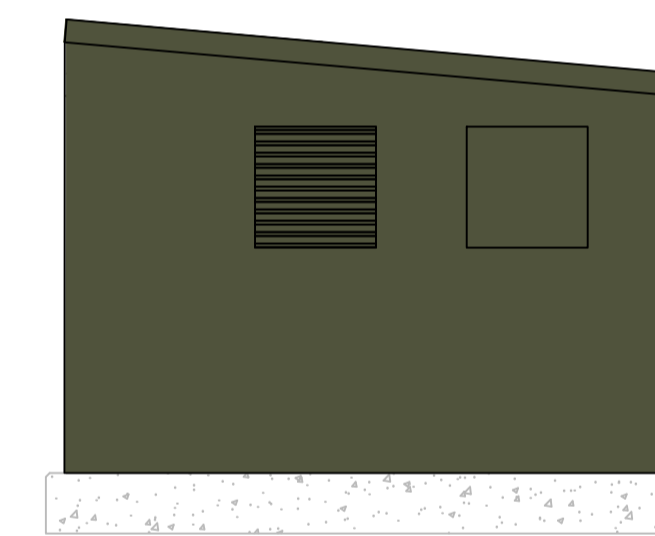
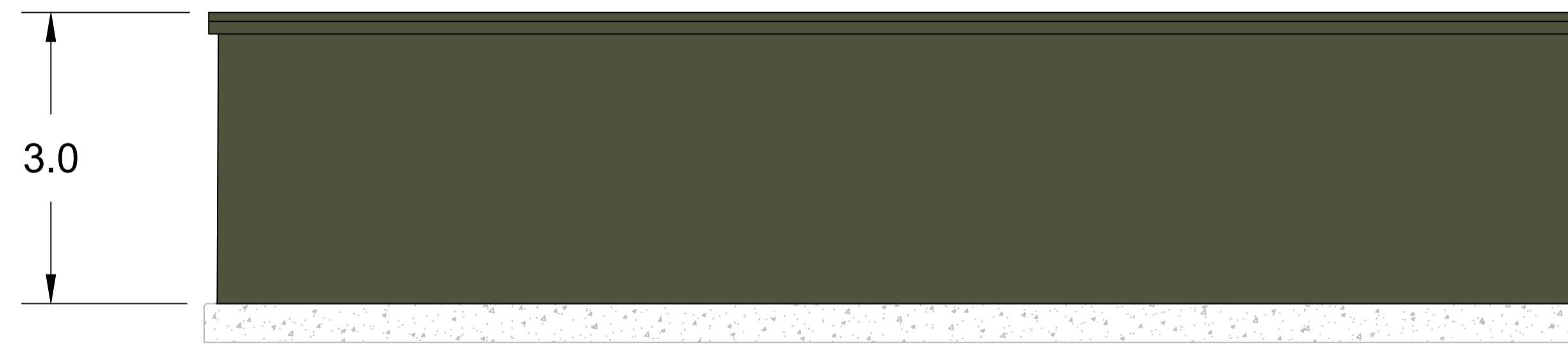
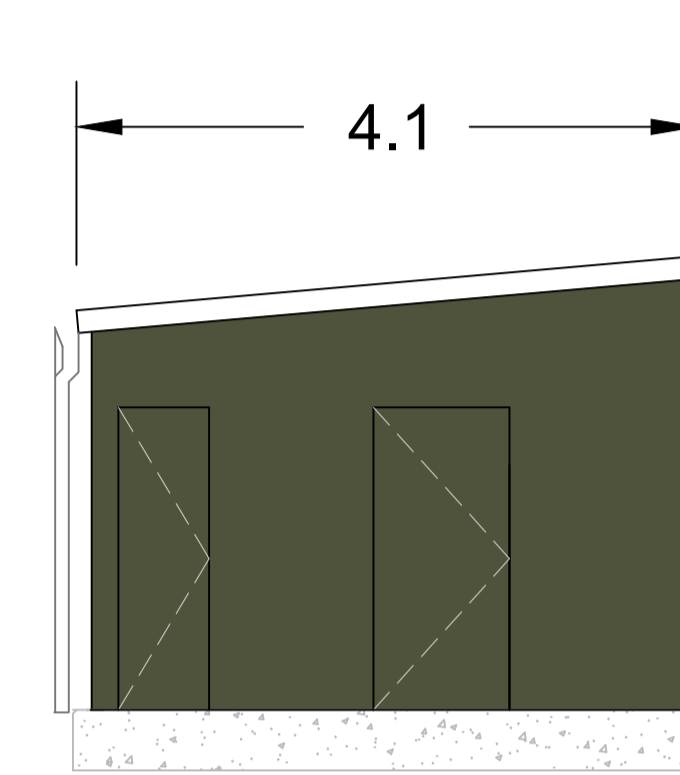
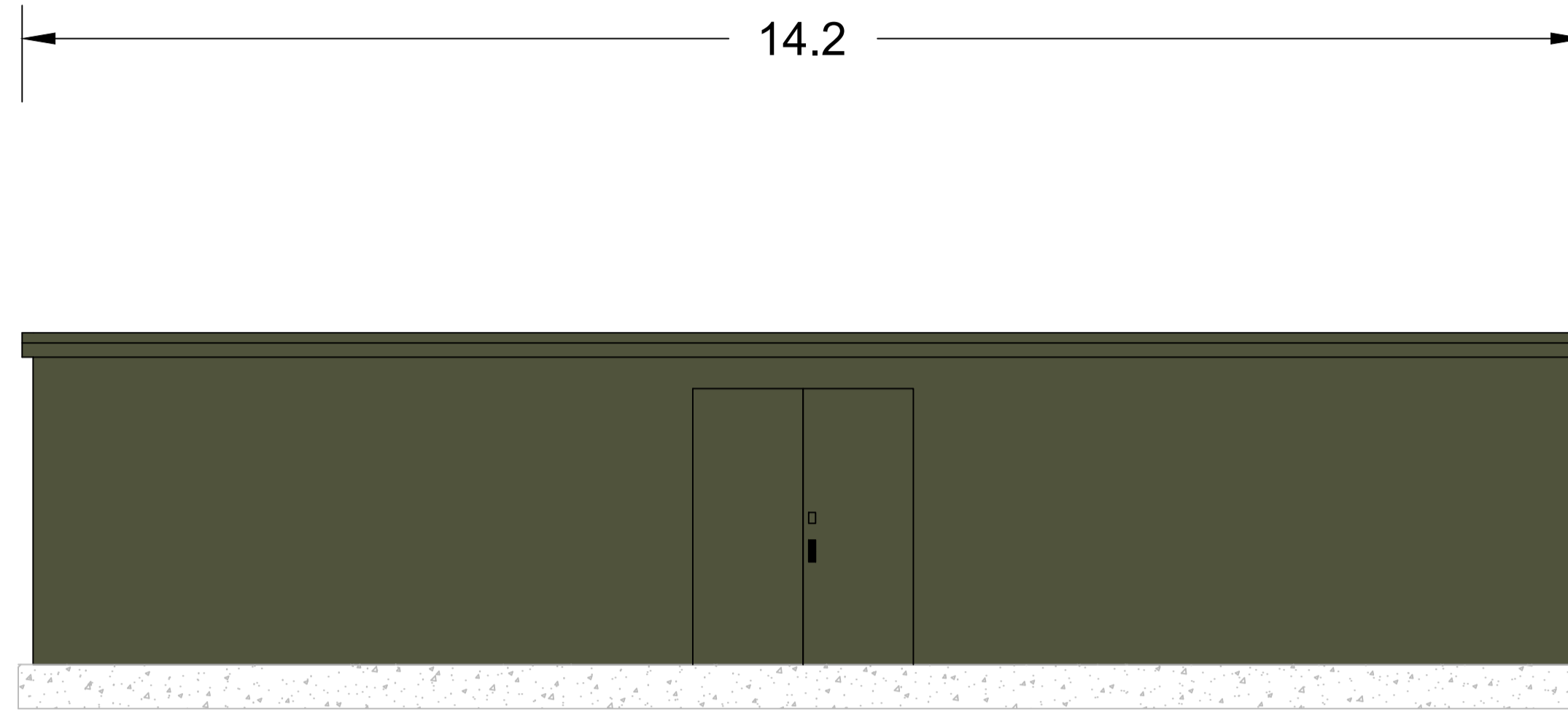
Client
Coventry City Council

Project
LENTONS LANE SOLAR FARM

Drawing Title
Indicative Solar Panels

	Name	Date	Scale
Designed	JS	07.05.2023	1:10 @ A1
Checked	GB	07.05.2023	File 230507 Coventry Layout
			Drawing Status DRAFT

Drawing No. **SK04C** Revision **P1**



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 8. TO BE READ IN CONJUNCTION WITH STREET LIGHTING DESIGN PACK.
- KEY:

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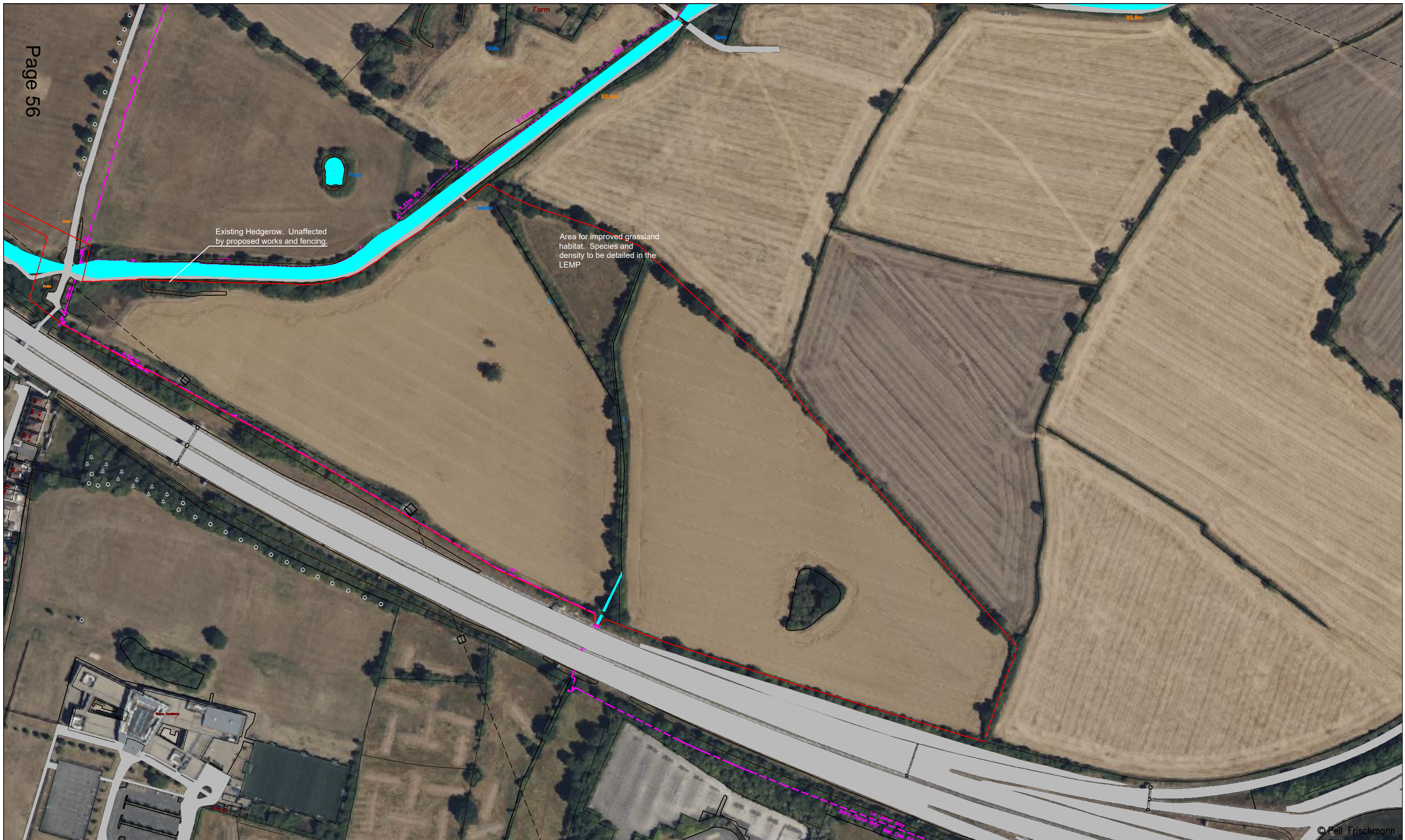
Client
Coventry City Council

Project
LENTONS LANE SOLAR FARM

Drawing Title
Indicative Control Station

	Name	Date	Scale
Designed	JS	07.05.2023	1:50 @ A1
Checked	GB	07.05.2023	File 230507 Coventry Layout
			Drawing Status DRAFT

Drawing No.	Revision
SK04A	P1



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Client: **COVENTRY CITY COUNCIL**

Key
 Wheel SPA (Red line)
 Body SPA (Green line)
 Load SPA (Magenta dashed line)
 Indicative (Cyan line)
 Over-run (Red hatched box)
 Over-sail (Blue hatched box)

Project	LENTONS LANE SOLAR FARM	
Drawing Title	PROPOSED LANDSCAPING SUMMARY	
Location	EAST AREA (RBC AREA)	

Drawn	BG	22/12/2023	Scale	Custom @ A3
Designed	GB	22/12/2023	File No	231213 Lentons Lane Landscape.dwg
Checked	GB	13/12/2023	Drawing Status	Draft
Point of Interest	1		Drawing No.	SK07A
Notes:			Revision	
1. All mitigation is subject to confirmation through a test run.			0	
2. This is not a construction drawing and is intended for illustration purposes only.				
3. Do not scale from this drawing				



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Client: **COVENTRY CITY COUNCIL**

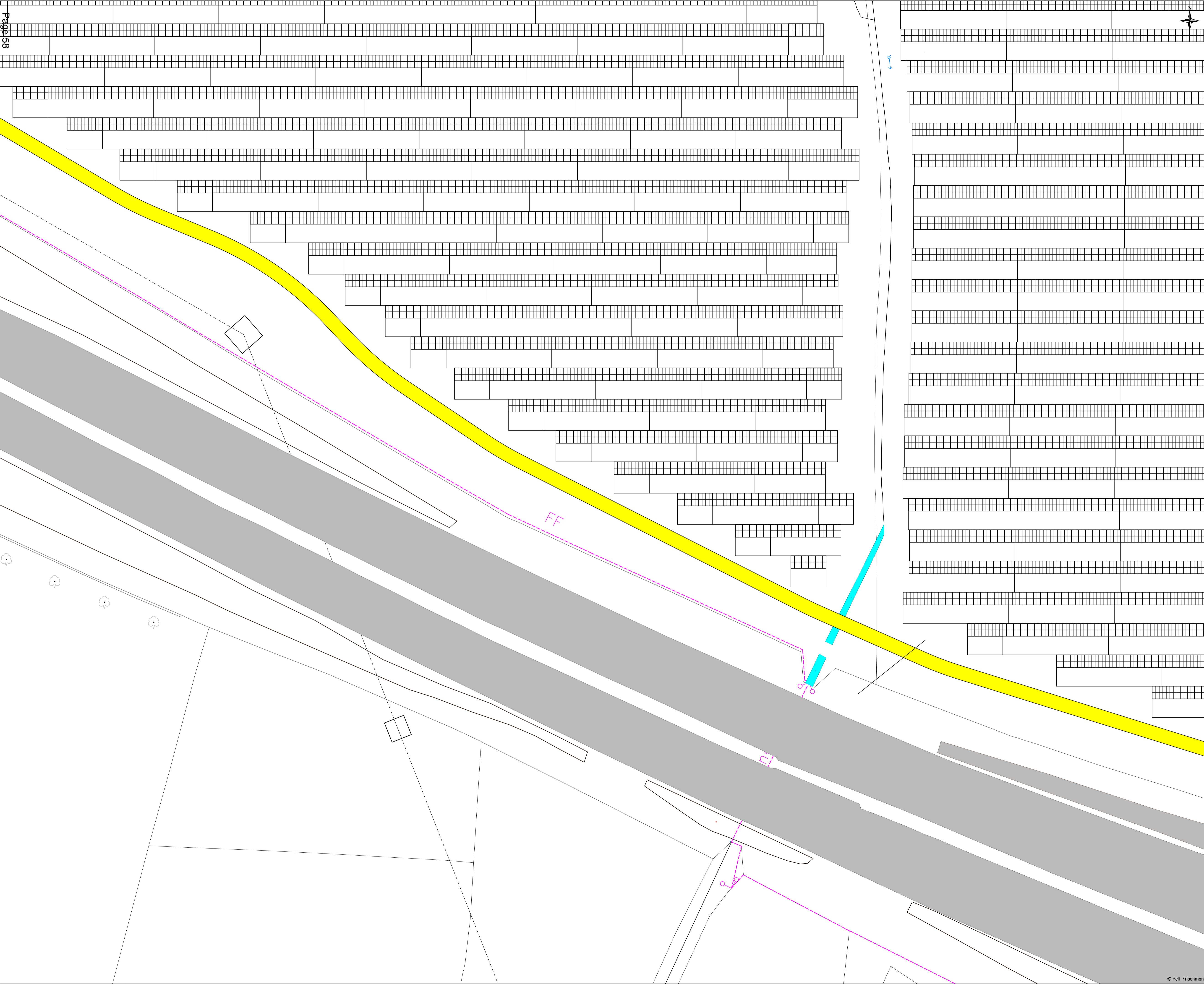
Key
 Wheel SPA (Red line)
 Body SPA (Green line)
 Load SPA (Purple line)
 Indicative (Cyan line)
 Over-run (Red hatched box)
 Over-sail (Blue hatched box)

Project: **LENTONS LANE SOLAR FARM**

Drawing Title: **PROPOSED LANDSCAPING SUMMARY**

Location: **WEST AREA (CCC BOUNDARY)**

Name	Date	Scale	Custom @ A3
Drawn: BG	22/12/2023	File No	231213 Lentons Lane Landscape.dwg
Designed: GB	22/12/2023		
Checked: GB	13/12/2023		
Point of Interest	1	Drawing Status	Draft
Drawing No. SK07	Notes: 1. All mitigation is subject to confirmation through a test run. 2. This is not a construction drawing and is intended for illustration purposes only. 3. Do not scale from this drawing		Revision: 0



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- KEY:
- Proposed New Track
 - Inverter Container

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Client
Coventry City Council

Project
LENTONS LANE SOLAR FARM

Drawing Title
**Proposed Track 4
 (2 of 3)**

	Name	Date	Scale	1:500 @ A1
Designed	JS	22.12.2023	File	231223 Lentons Lane Cross Sections
Checked	GB	22.12.2023	Drawing Status	REVISION
Drawing No.	SK02F			Revision 003



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- KEY:

- Proposed New Track
- Road Widening
- Construction Compound
- Inverter Container

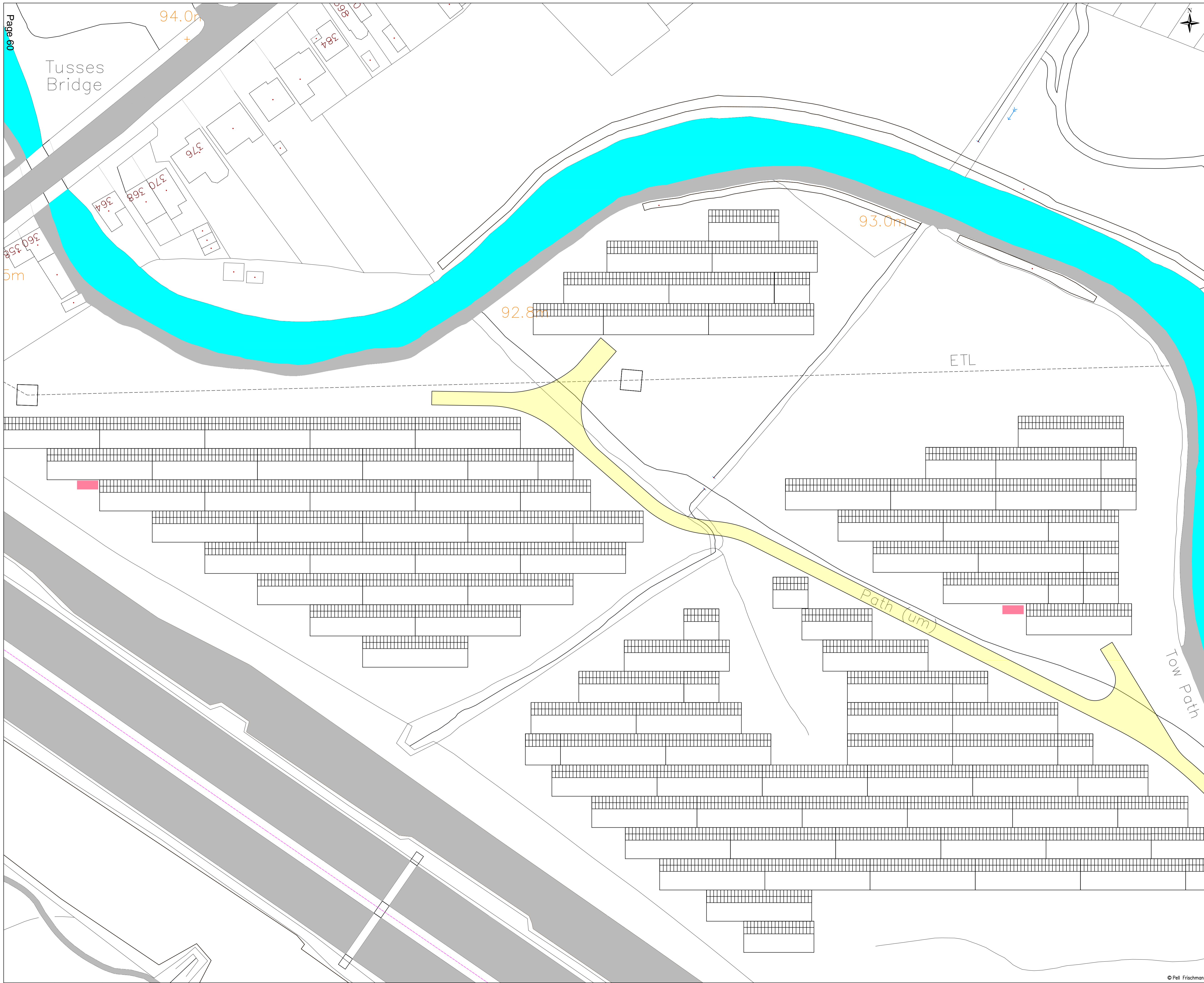
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Client
Coventry City Council

Project
LENTONS LANE SOLAR FARM

Drawing Title
Proposed Track 1

Name	Date	Scale	1:500 @ A1
Designed	JS 22.12.2023	File	231223 Lentons Lane Cross Sections
Checked	GB 22.12.2023	Drawing Status	REVISION
Drawing No.	SK02A		Revision 003



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- KEY:

- Proposed New Track
- Inverter Container

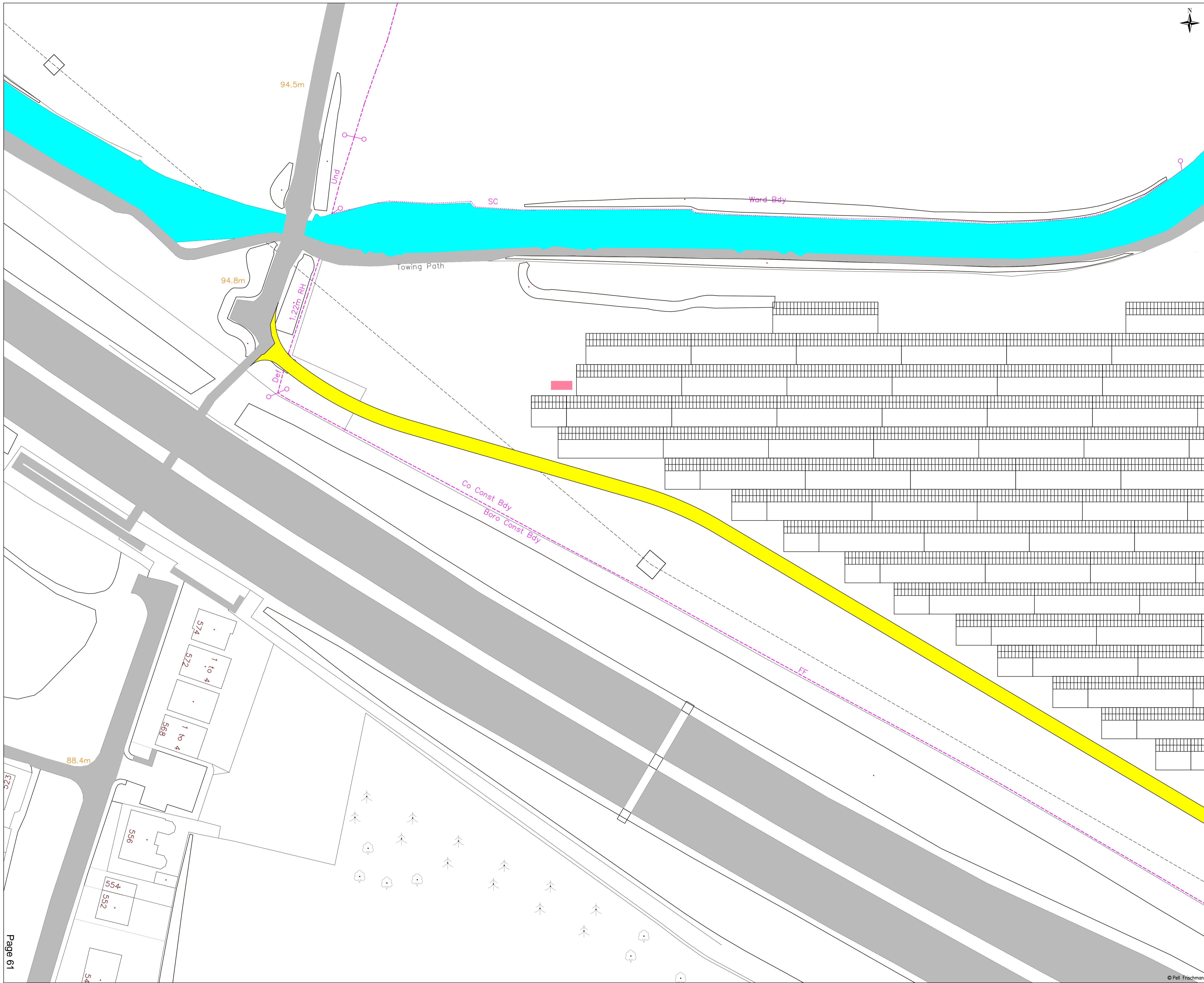
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Client
Coventry City Council

Project
LENTONS LANE SOLAR FARM

Drawing Title
**Proposed Track 3
 (2 of 2)**

Name	Date	Scale	Revision
Designed	JS 22.12.2023	1:500 @ A1	File 231223 Lentons Lane Cross Sections
Checked	GB 22.12.2023	Drawing Status	REVISION
Drawing No.	SK02D		Revision 003



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- KEY:
- Proposed New Track
 - Inverter Container

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Client
Coventry City Council

Project
LENTONS LANE SOLAR FARM

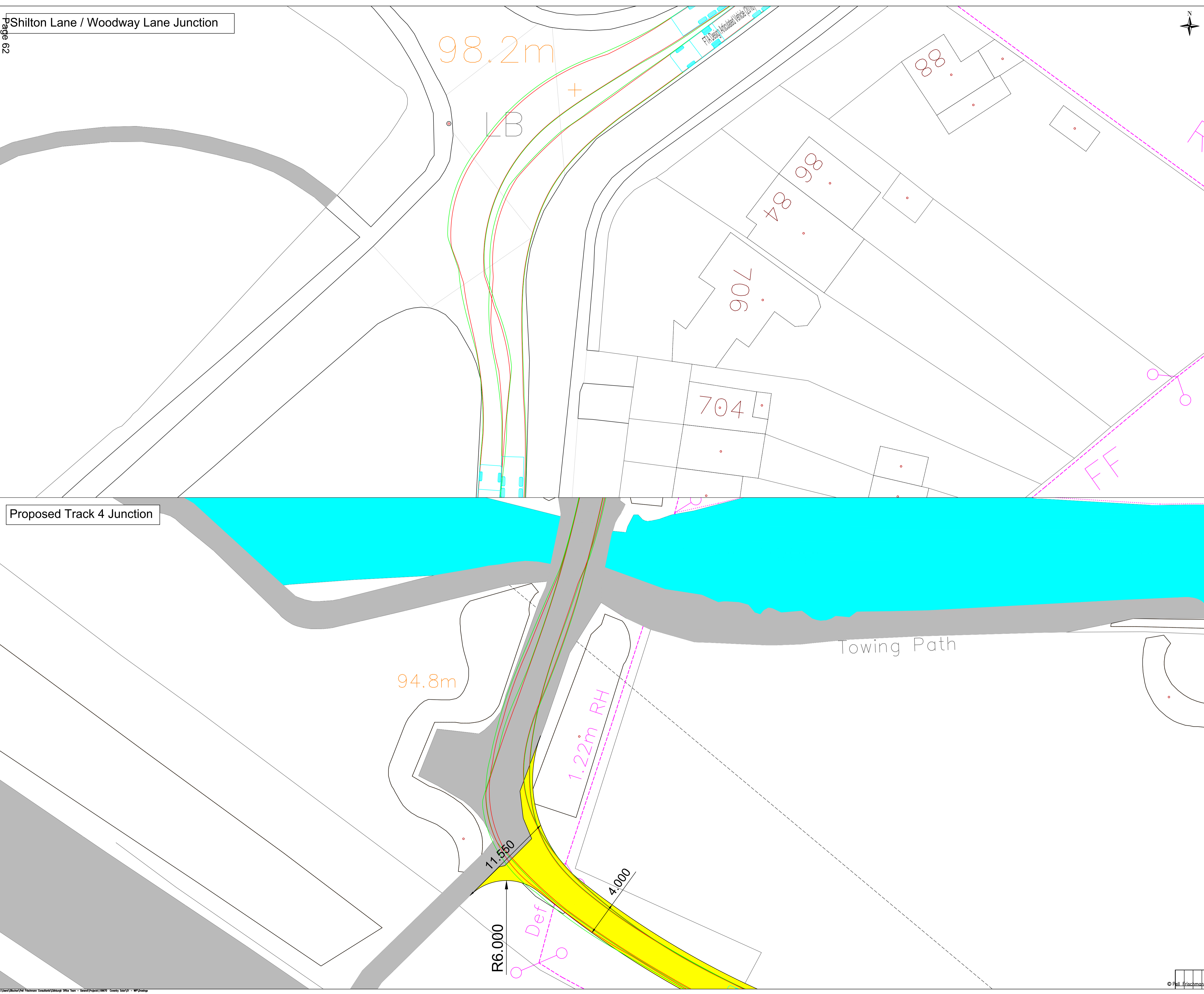
Drawing Title
**Proposed Track 4
 (1 of 3)**

Name	Date	Scale	1:500 @ A1
Designed	JS	22.12.2023	File 231223 Lentons Lane Cross Sections
Checked	GB	22.12.2023	Drawing Status REVISION
Drawing No.	SK02E		Revision 003



- NOTE:
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 8. TO BE READ IN CONJUNCTION WITH STREET LIGHTING DESIGN PACK.

- KEY:
- SPA Wheel
 - SPA Body



Proposed Track 4 Junction

Towing Path

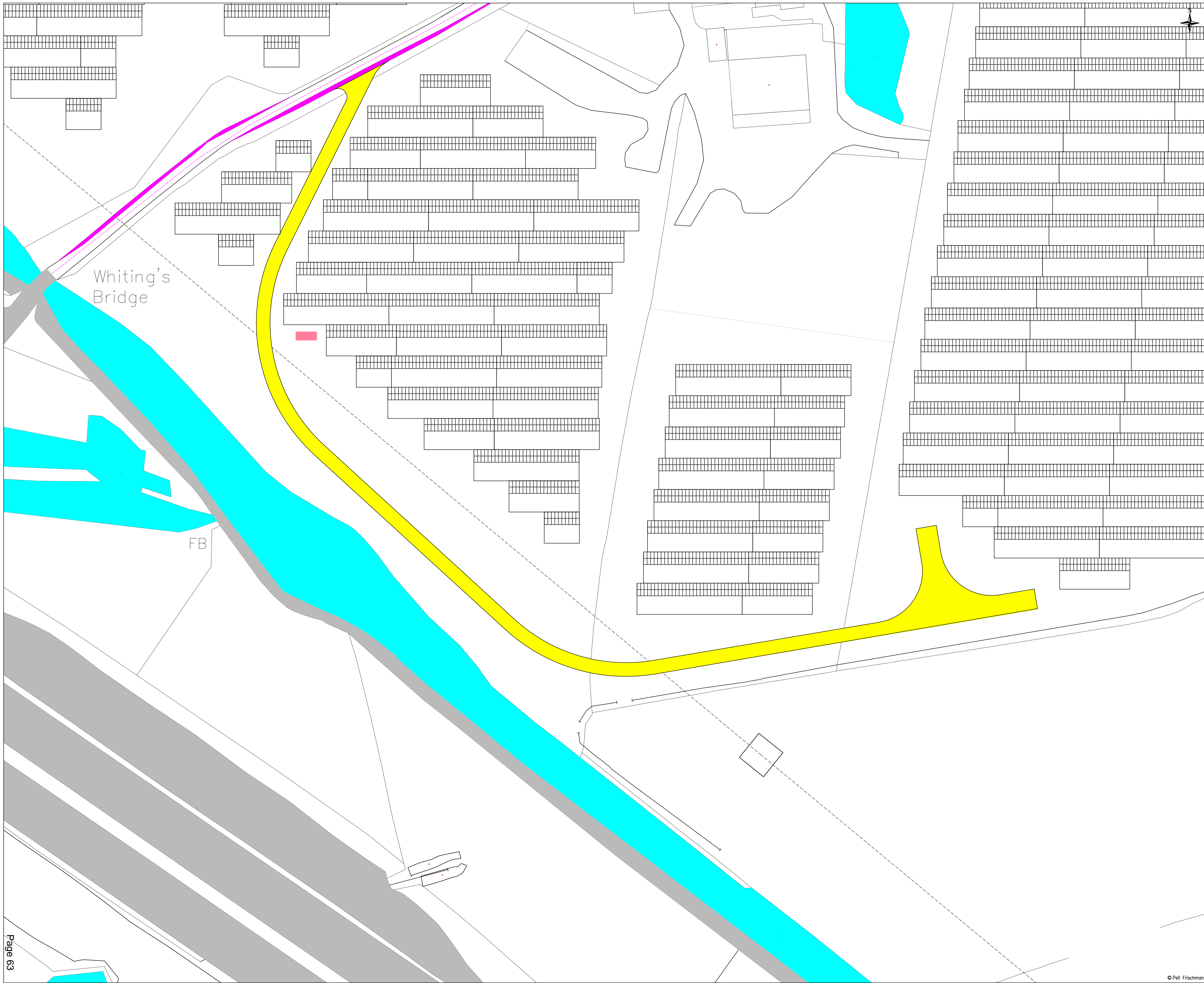
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Client
Coventry City Council

Project
LENTONS LANE SOLAR FARM

Drawing Title
Swept Path Assessments

	Name	Date	Scale	1:200 @ A1
Designed	JS	09.11.2023	File	230323 Lentons Lane Plan App
Checked	GB	09.11.2023	Drawing Status	DRAFT
Drawing No.	SK03A			Revision
				P1



Whiting's
Bridge

FB

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- KEY:
- Proposed New Track
 - Road Widening
 - Inverter Container

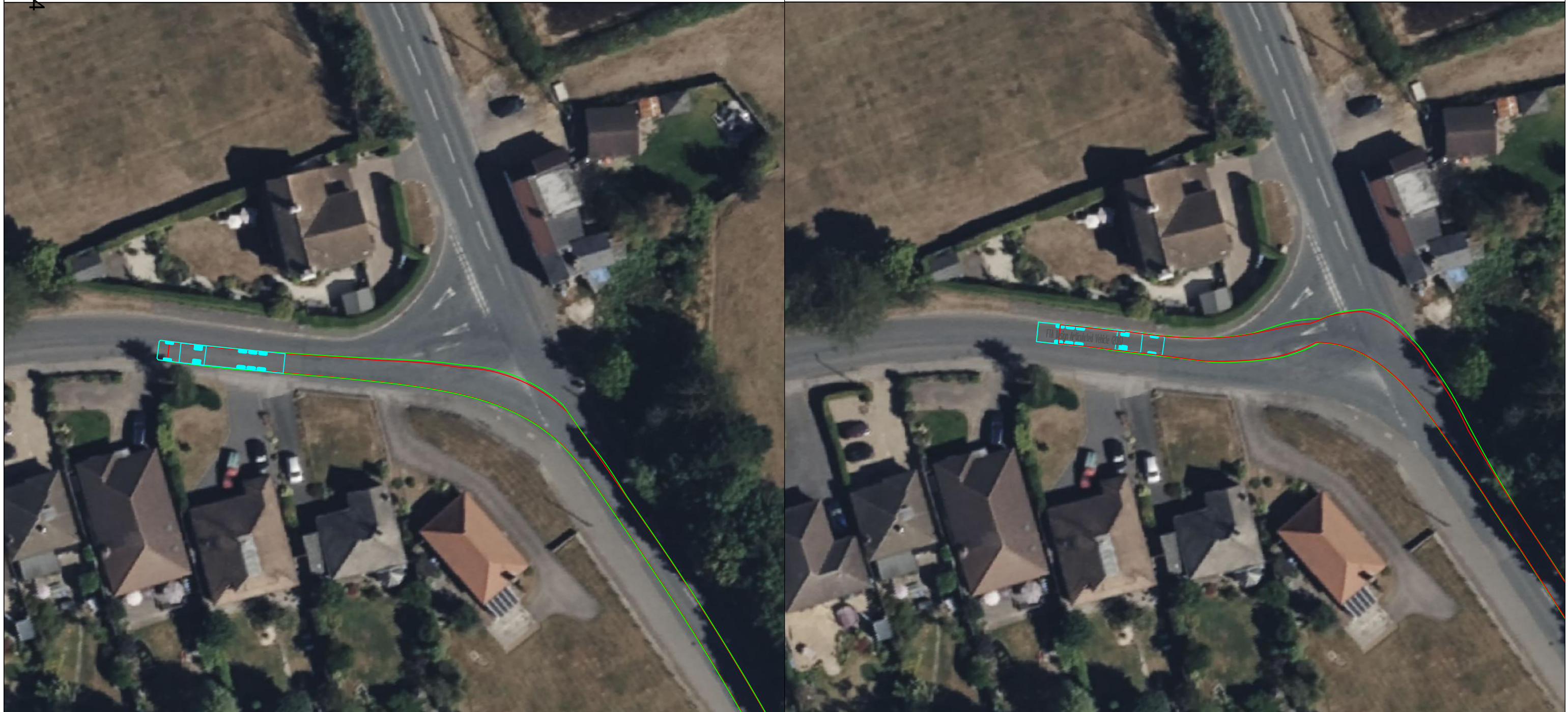
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Client
Coventry City Council

Project
LENTONS LANE SOLAR FARM

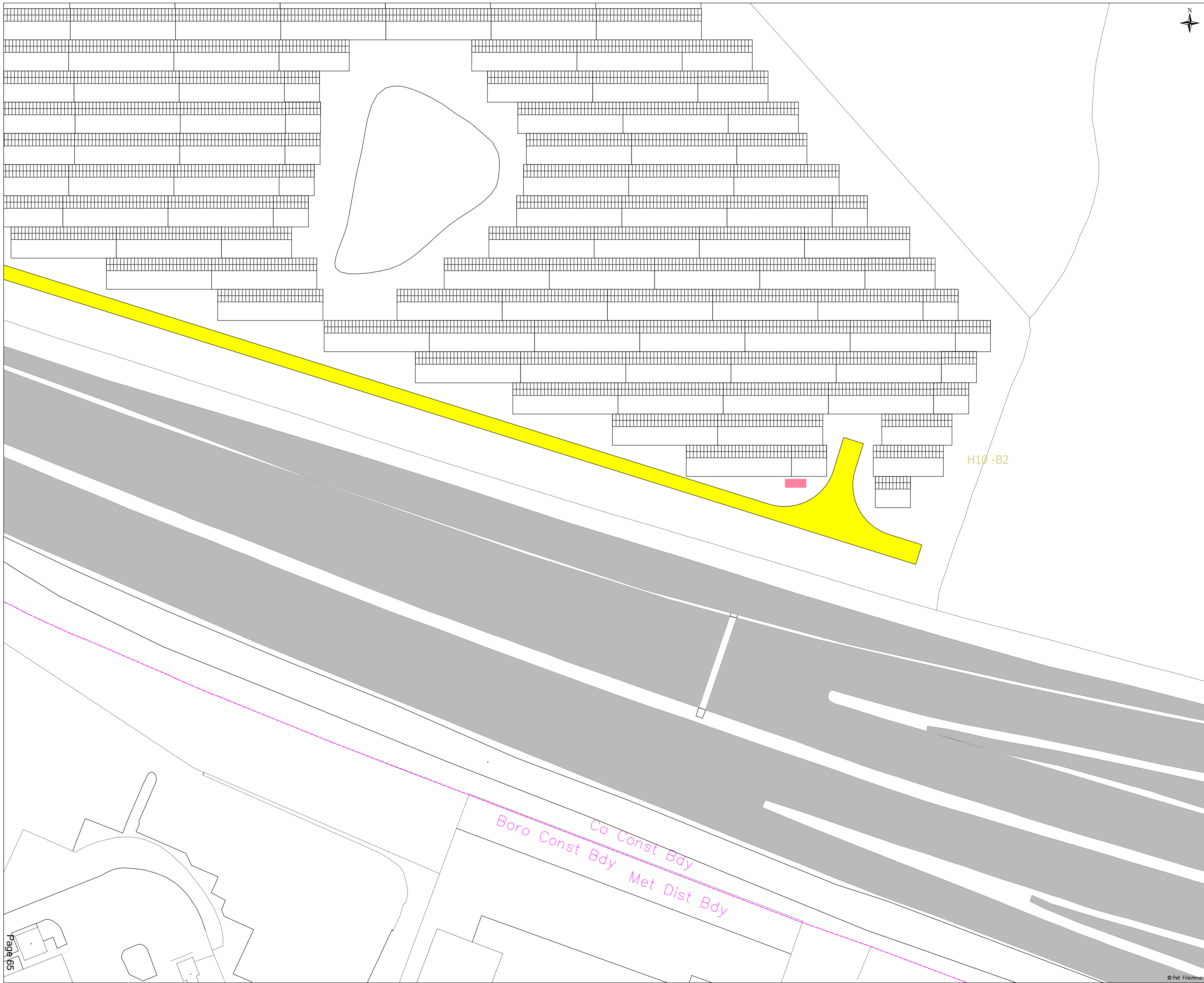
Drawing Title
Proposed Track 2

Name	Date	Scale	File
Designed	JS 22.12.2023	1:500 @ A1	231223 Lentons Lane Cross Sections
Checked	GB 22.12.2023	Drawing Status	REVISION
Drawing No.	SK02B		Revision
			003



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	Client	Coventry City Council	Drawing Title	FTA Maximum Legal Articulated HGV	Designed	GB	28/09/2023	File No.	230829 Tracking.dwg
Key — Wheel SPA — Body SPA — Load SPA — Indicative Over-run Over-sail	SPA Location	Wood Lane / Bulkington Road Junction	Checked	GCB	28/09/2023	Point of Interest	2	Drawing Status	Issue
			Drawing No.	SK02	Notes:	1. All mitigation is subject to confirmation through a test run. 2. This is not a construction drawing and is intended for illustration purposes only.		Revision	0



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- KEY:
- Proposed New Track
 - Inverter Container

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Client
Coventry City Council

Project
LENTONS LANE SOLAR FARM

Drawing Title
**Proposed Track 4
 (3 of 3)**

Name	Date	Scale	1:500 @ A1
Designed JS	22.12.2023	File	231223 Lentons Lane Cross Sections
Checked GB	22.12.2023	Drawing Status	REVISION
Drawing No.	SK02G		Revision 003

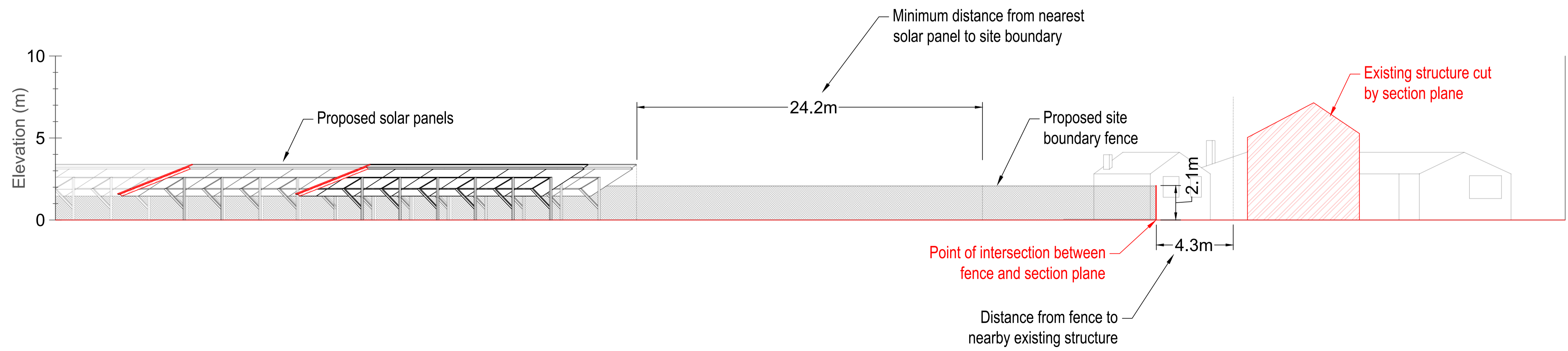
Cross Section 'D-D' Line (Plan View)



- NOTE:
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 4. ALL INDICATIVE LEVELS SHOWN ON SECTION VIEWS WERE DERIVED FROM A DEBRA LIDAR DSM (2017) 0.5M RES COMPOSITE SURFACE.

- KEY:
- SECTION 'A-A' LINE
 - SITE BOUNDARY
 - SITE BOUNDARY FENCE

Cross Section 'D-D' (Profile View)



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Client
Coventry City Council

Project
LENTONS LANE SOLAR FARM

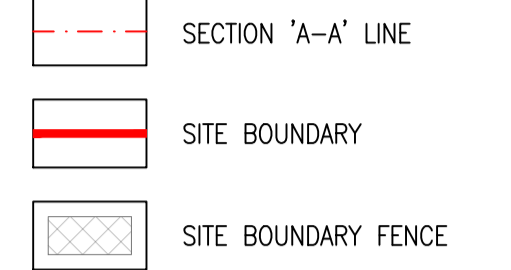
Drawing Title
Illustrative Cross Section View

Name	Date	Scale	1:150 @ A1
Designed	JS 15.12.2023	File	231214 Lentons Lane Cross Sections
Checked	GB 15.12.2023	Drawing Status	REVISION
Drawing No.	SK11		Revision
			001

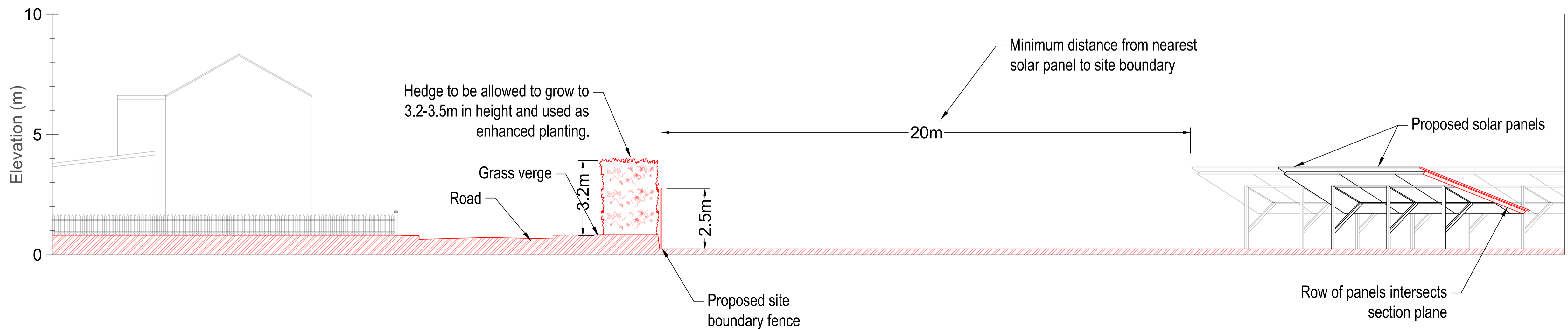
Cross Section 'E-E' Line (Plan View)



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Cross Section 'E-E' (Profile View)



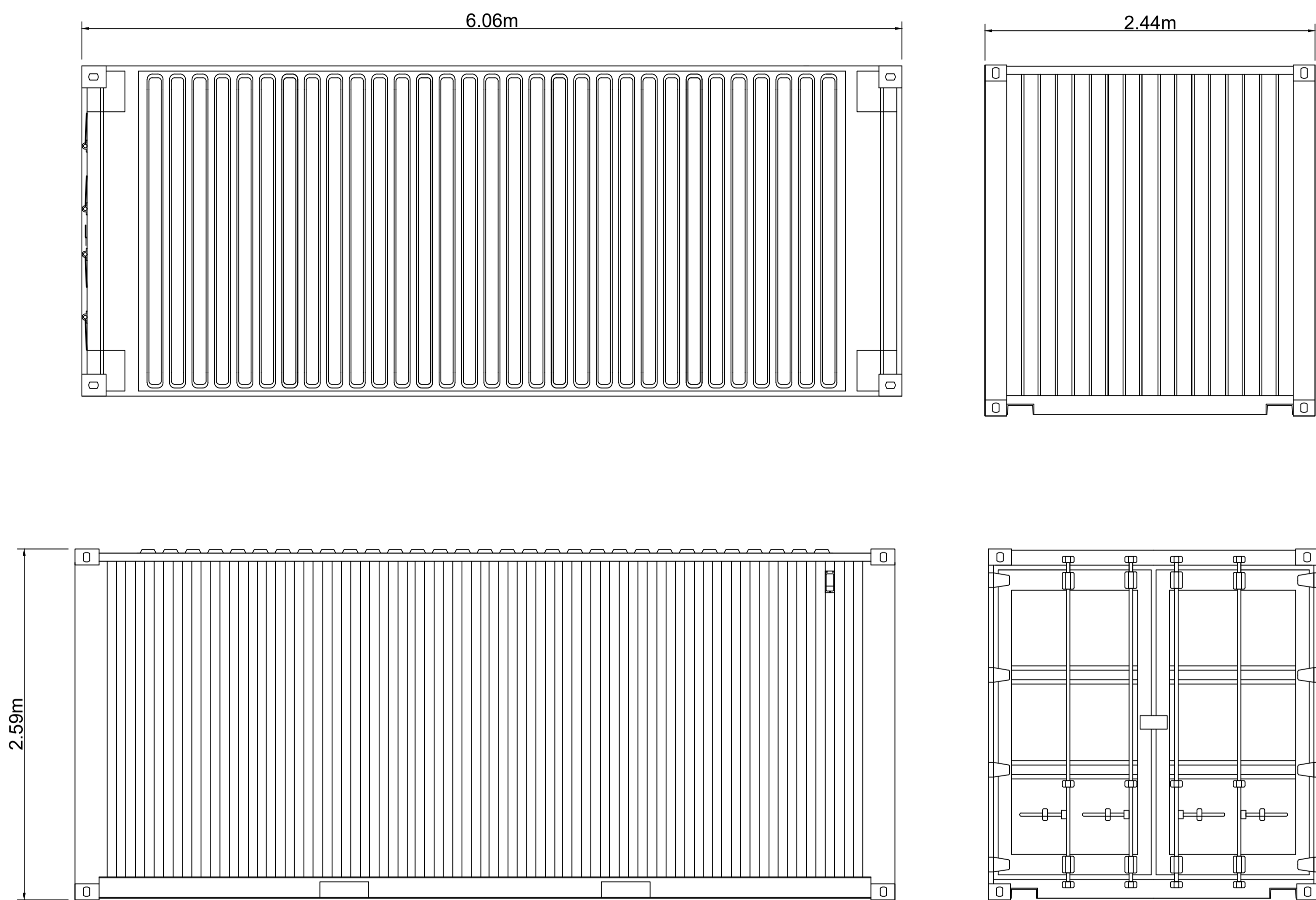
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Drawing Title
Illustrative Cross Section View

Name	Date	Scale	1:100 @ A1
Designed	JS 21.12.2023	File	231207 Lentons Lane Cross Sections
Checked	GB 21.12.2023	Drawing Status	REVISION
Drawing No.	SK12		Revision 001



13 inverter containers to be spaced evenly throughout the site

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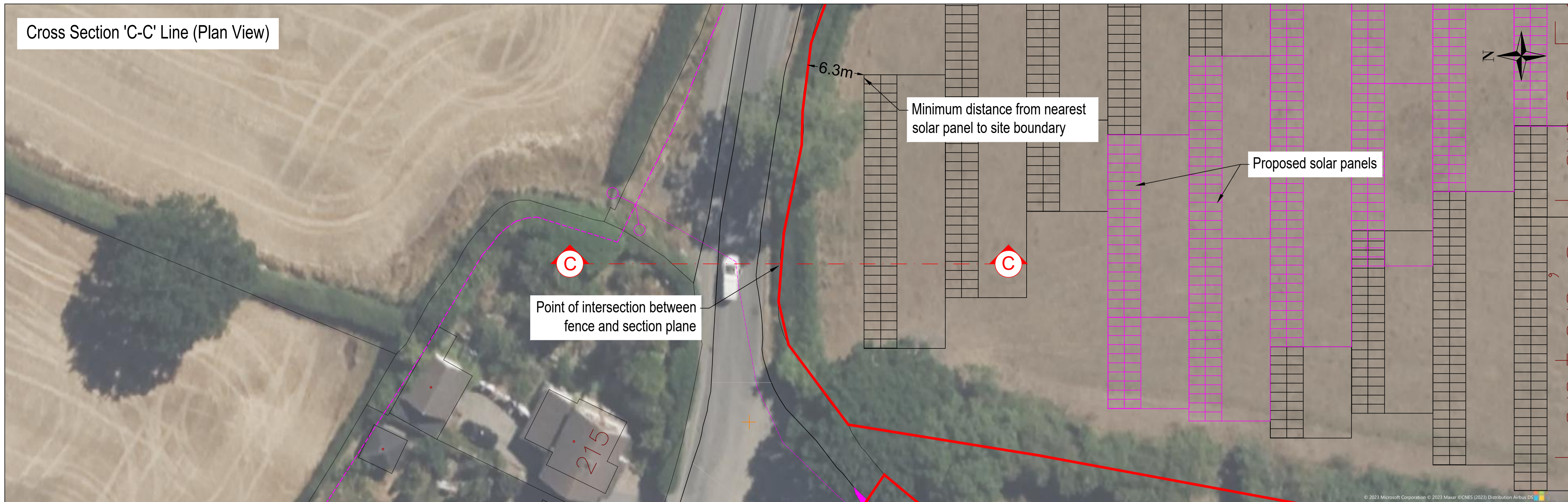
Drawing Title

Indicative Inverter Container

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Checked	GB	07.05.2023	Drawing Status DRAFT

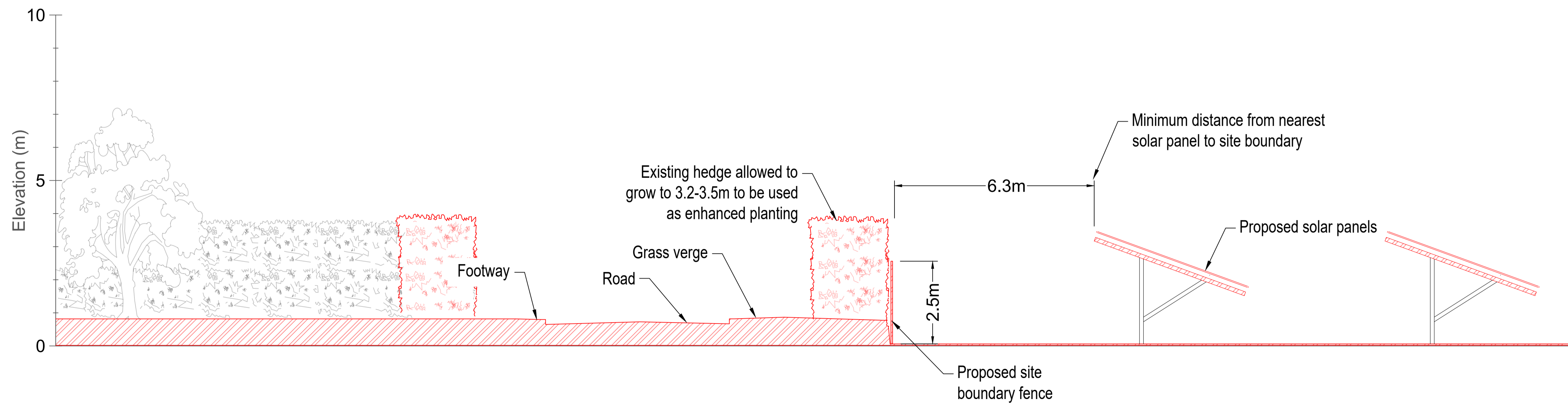
Drawing No.	Revision
SK04D	P1

Cross Section 'C-C' Line (Plan View)



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- KEY:
- SECTION 'A-A' LINE
 - SITE BOUNDARY
 - SITE BOUNDARY FENCE

Cross Section 'C-C' (Profile View)



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Client
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Project
LENTONS LANE SOLAR FARM

Drawing Title
Illustrative Cross Section View

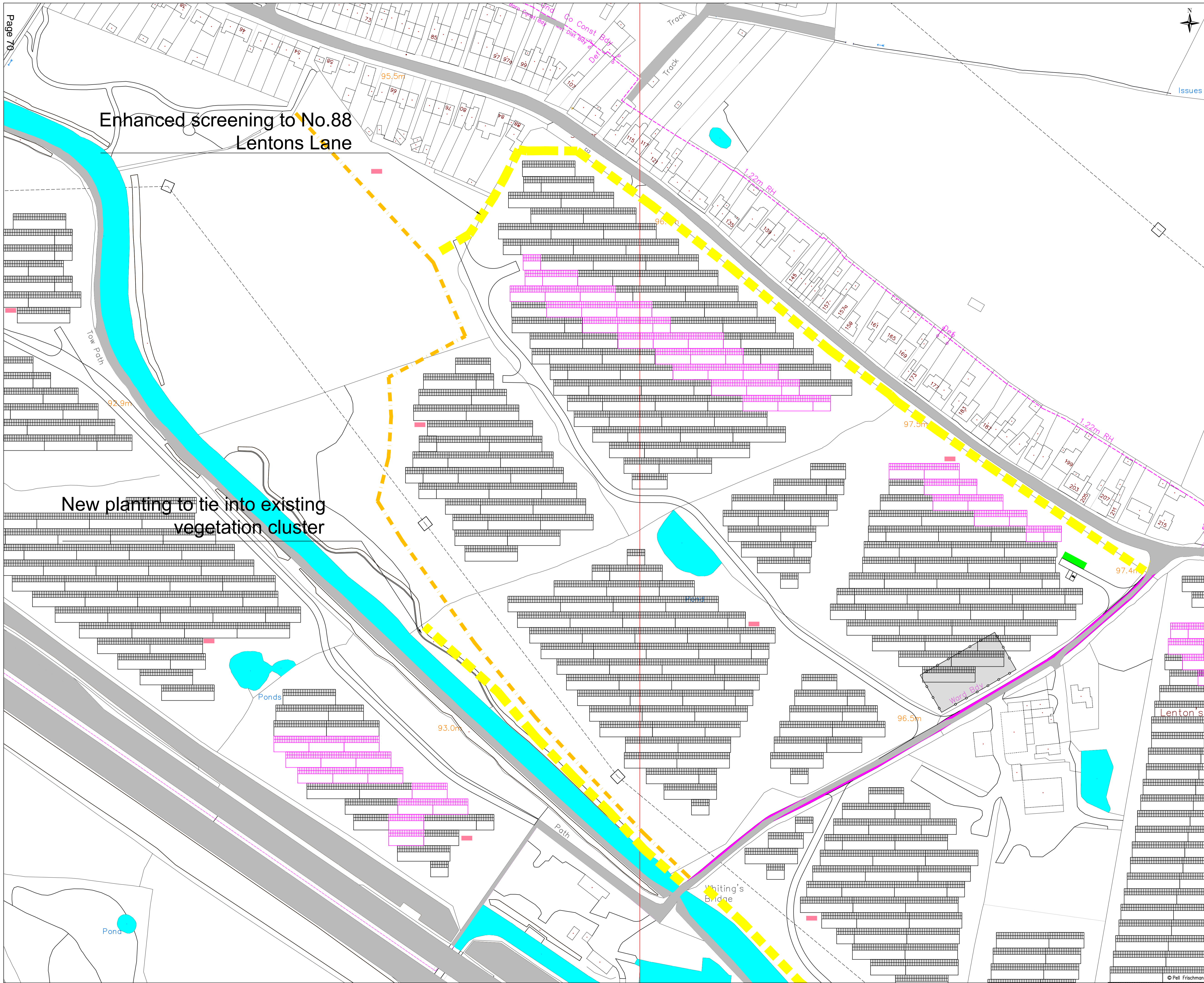
Name	Date	Scale
Designed JS	07.12.2023	1:75 @ A1
Checked GB	07.12.2023	File 231207 Lentons Lane Cross Sections
Drawing No.	SK10	Drawing Status REVISION

Revision
001



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 8. TO BE READ IN CONJUNCTION WITH STREET LIGHTING DESIGN PACK.

- KEY:
- Rerouted Footpath
 - Enhanced Screening Planting



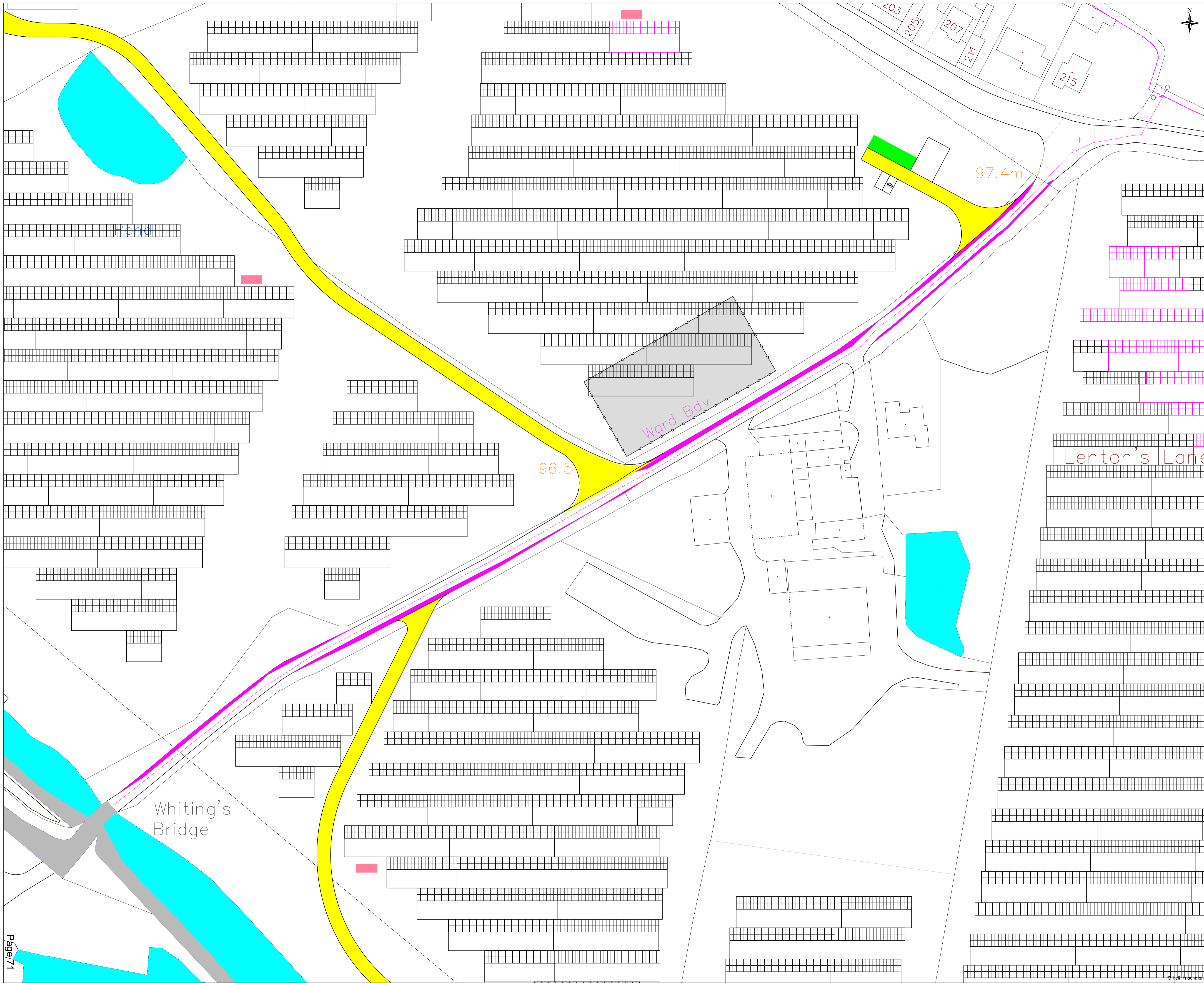
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Client
Coventry City Council

Project
LENTONS LANE SOLAR FARM

Drawing Title
Consultation Enhancement Plan

Name	Date	Scale	1" = 1' @ A1
Designed JS	11.09.2023	File	230816 Coventry Layout
Checked GB	11.09.2023	Drawing Status	DRAFT
Drawing No.	SK07	Revision	P1



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- KEY:

- Proposed New Track
- Road Widening
- Proposed Control Building Location
- Construction Compound
- Inverter Container

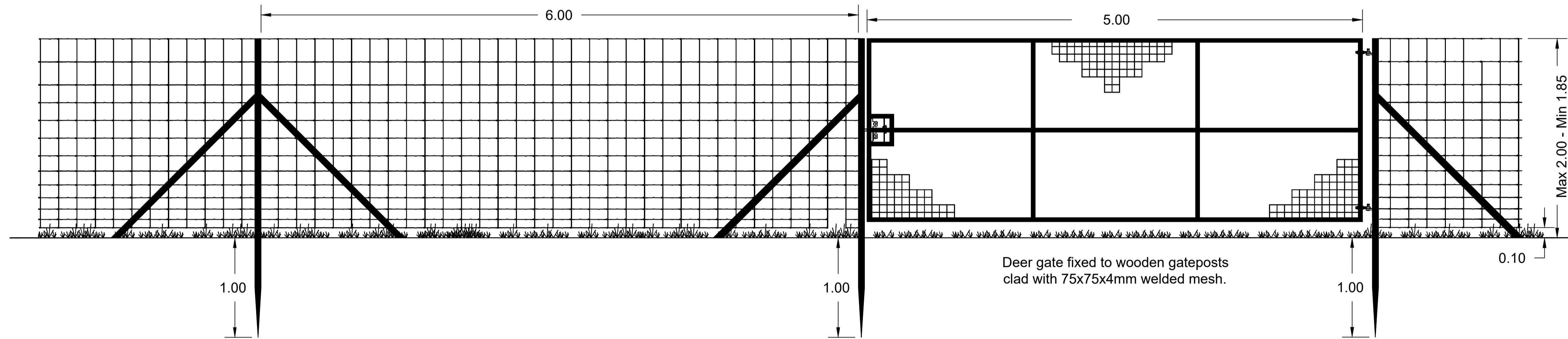
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Client
Coventry City Council

Project
LENTONS LANE SOLAR FARM

Drawing Title
Proposed Widening

Name	Date	Scale	1:500 @ A1
Designed JS	22.12.2023	File	231223 Lentons Lane Cross Sections
Checked GB	22.12.2023	Drawing Status	REVISION
Drawing No.	SK02		Revision 003



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- KEY:

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Client
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Project
 LENTONS LANE SOLAR FARM

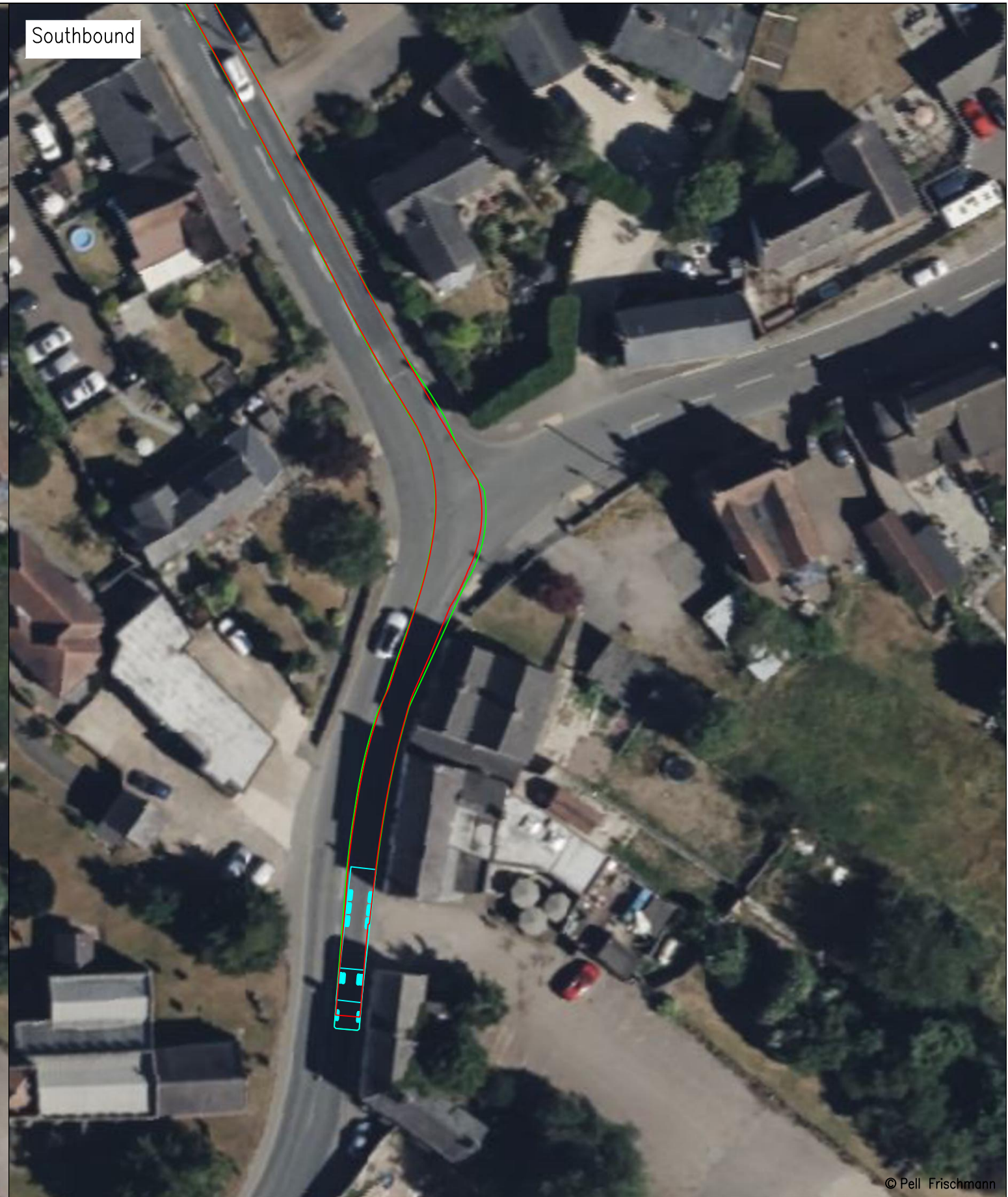
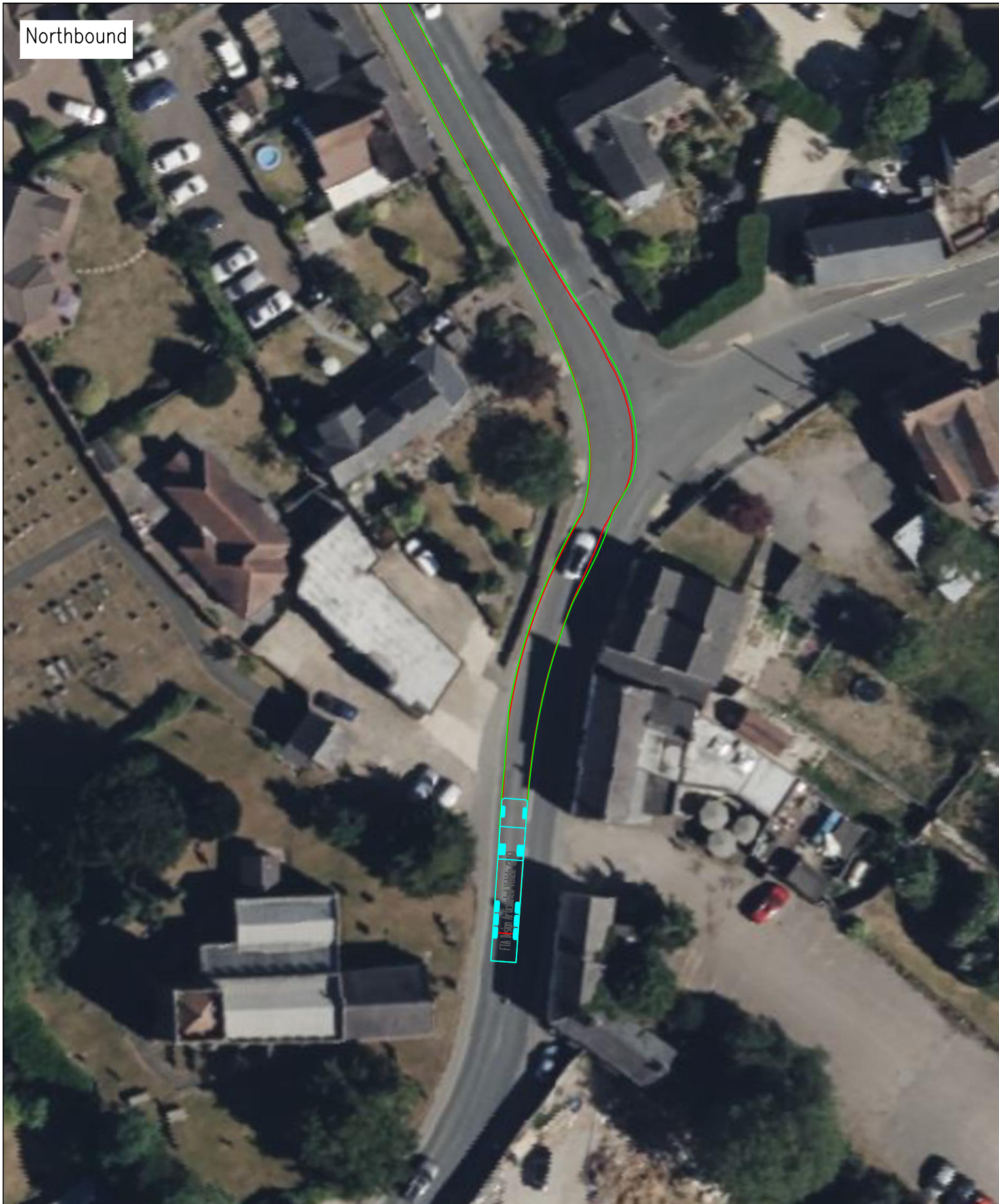
Drawing Title
 Indicative Fence

Name	Date	Scale
Designed JS	07.05.2023	1:25 @ A1
Checked GB	07.05.2023	File 230507 Coventry Layout
		Drawing Status DRAFT

Drawing No.	Revision
SK04B	P1

Northbound

Southbound



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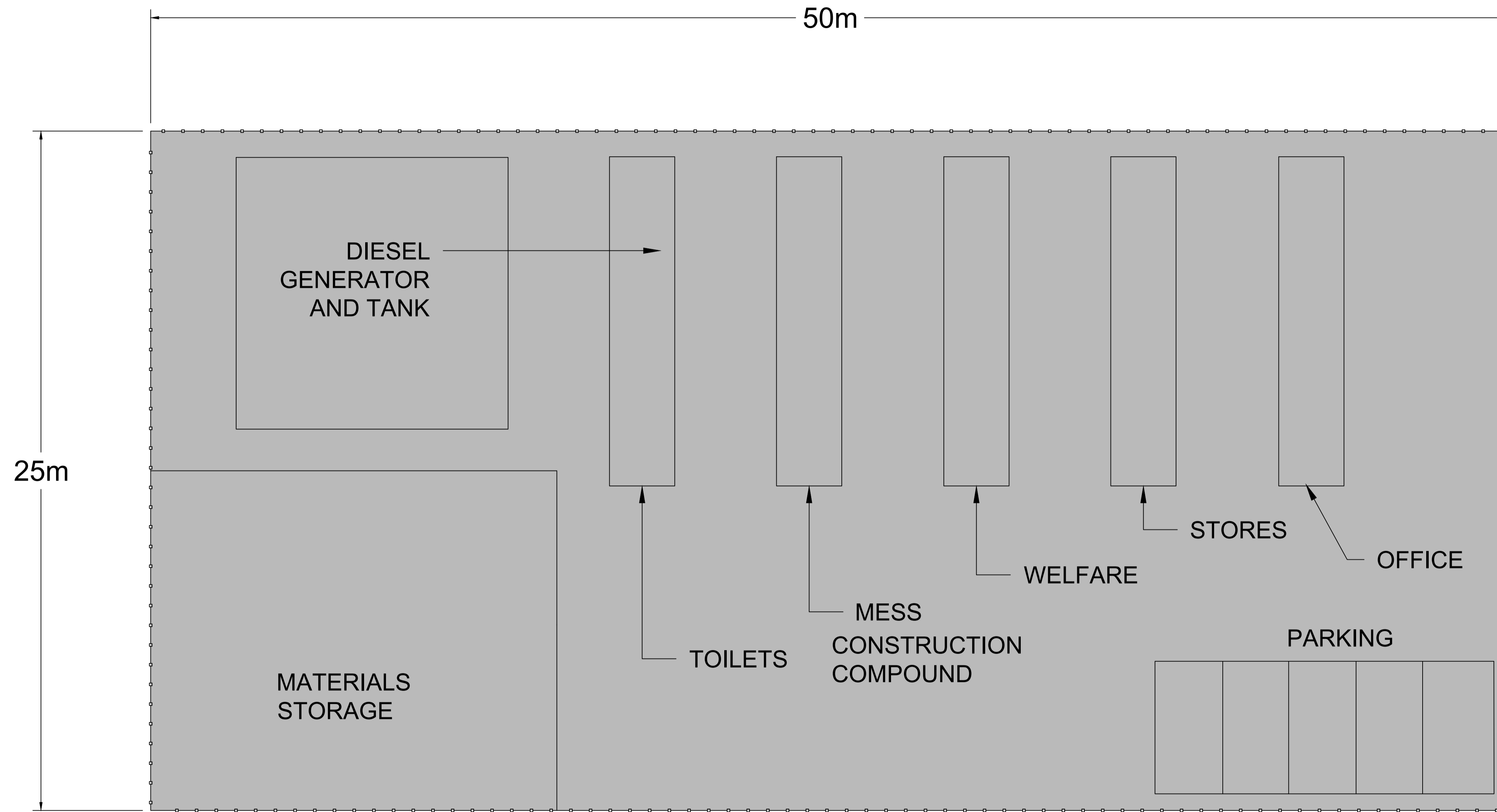
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Client: **Coventry City Council**

Key
 Wheel SPA (Red line)
 Body SPA (Green line)
 Load SPA (Cyan dashed line)
 Indicative (Cyan solid line)
 Over-run (Red hatched area)
 Over-sail (Blue hatched area)

Project	Lentons Lane Solar Farm	
Drawing Title	FTA Maximum Legal Articulated HGV	
SPA Location	Leicester Road / Bulkington Road Junction	

Drawn	GB	28/09/2023	Scale	1:500 @ A3
Designed	GB	28/09/2023	File No.	230829 Tracking.dwg
Checked	GCB	28/09/2023	Drawing Status	Issue
Point of Interest	1		Revision	0
Drawing No.	SK01		Notes: 1. All mitigation is subject to confirmation through a test run. 2. This is not a construction drawing and is intended for illustration purposes only.	



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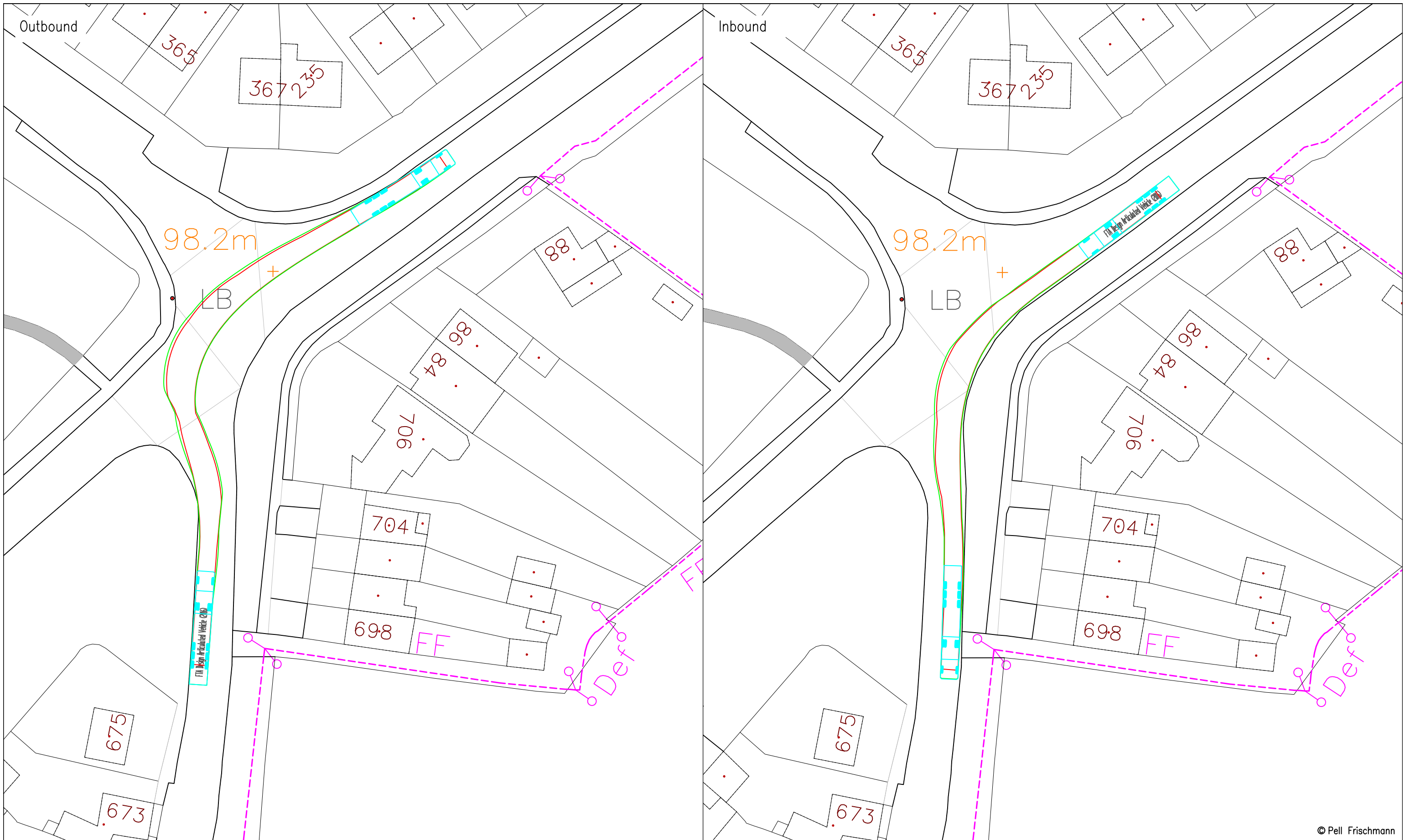
Client
Coventry City Council

Project
LENTONS LANE SOLAR FARM

Drawing Title
Indicative Construction Compound

	Name	Date	Scale
Designed	JS	07.05.2023	1:100 @ A1
Checked	GB	07.05.2023	File 230507 Coventry Layout
			Drawing Status DRAFT

Drawing No.	SK04E	Revision	P1
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Client: **Coventry City Council**

Key
 Wheel SPA (Red line)
 Body SPA (Green line)
 Load SPA (Magenta line)
 Indicative (Cyan line)
 Over-run (Hatched Red box)
 Over-sail (Hatched Blue box)

Project: **Lentons Lane Solar Farm**

Drawing Title: **FTA Maximum Legal Articulated HGV**

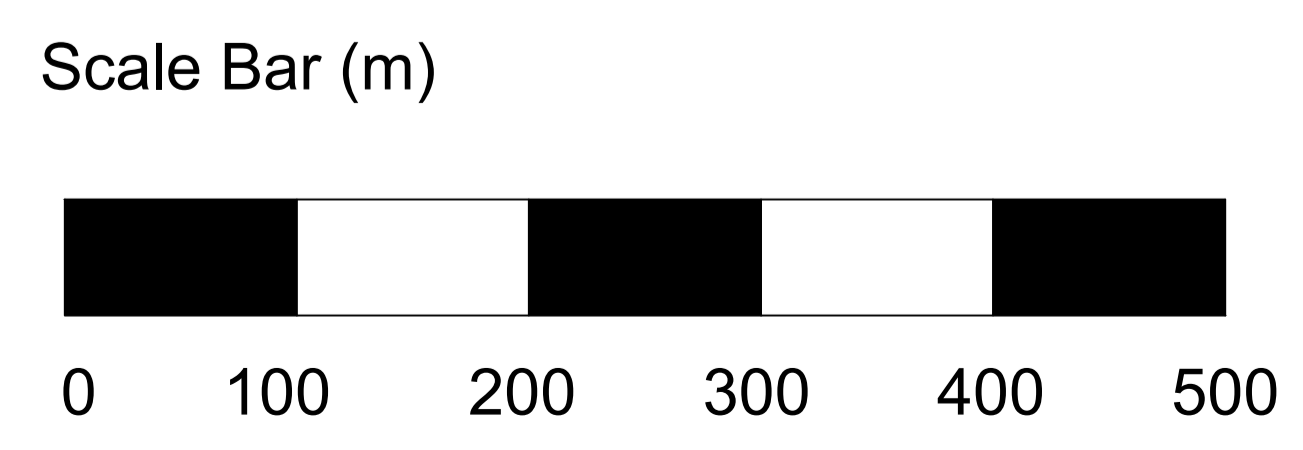
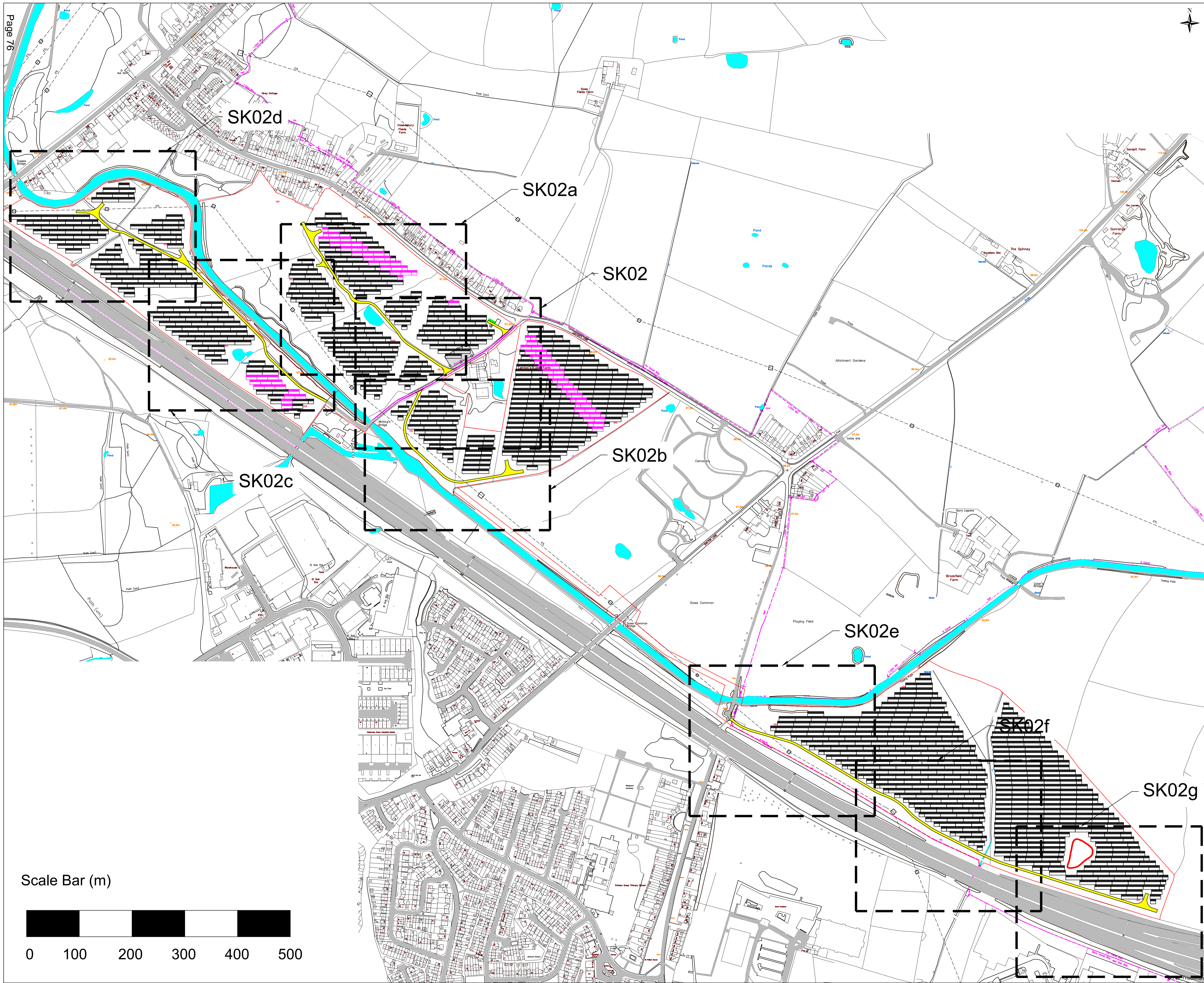
SPA Location: **Woodway Lane / Shilton Lane Junction**

Drawn	GB	28/09/2023	Scale	1:500 @ A3
Designed	GB	28/09/2023	File No.	230829 Tracking.dwg
Checked	GCB	28/09/2023	Drawing Status	Issue
Point of Interest	3		Revision	
Drawing No.	SK03			0
Notes: 1. All mitigation is subject to confirmation through a test run. 2. This is not a construction drawing and is intended for illustration purposes only.				



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- KEY:

- Site Boundary
- Proposed Track
- Road Widening
- Control Building
- Inverter Container
- Construction Compound
- Solar Panels (Piled)
- Solar Panels (Ground mounted)



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Client
 Coventry City Council

Project
 LENTONS LANE SOLAR FARM

Drawing Title
 Layout Plan

Name	Date	Scale	1:3250 @ A1
Designed	JS	12.01.2024	File 231223 Lentons Lane Cross Sections
Checked	GB	12.01.2024	Drawing Status REVISION
Drawing No.	SK01		Revision 003



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- KEY:

- WPD Connection
- Grid Connection
- Control Building
- Inverter Container
- Construction Compound
- Solar Panels (Piled)
- Solar Panels (Ground mounted)

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Project
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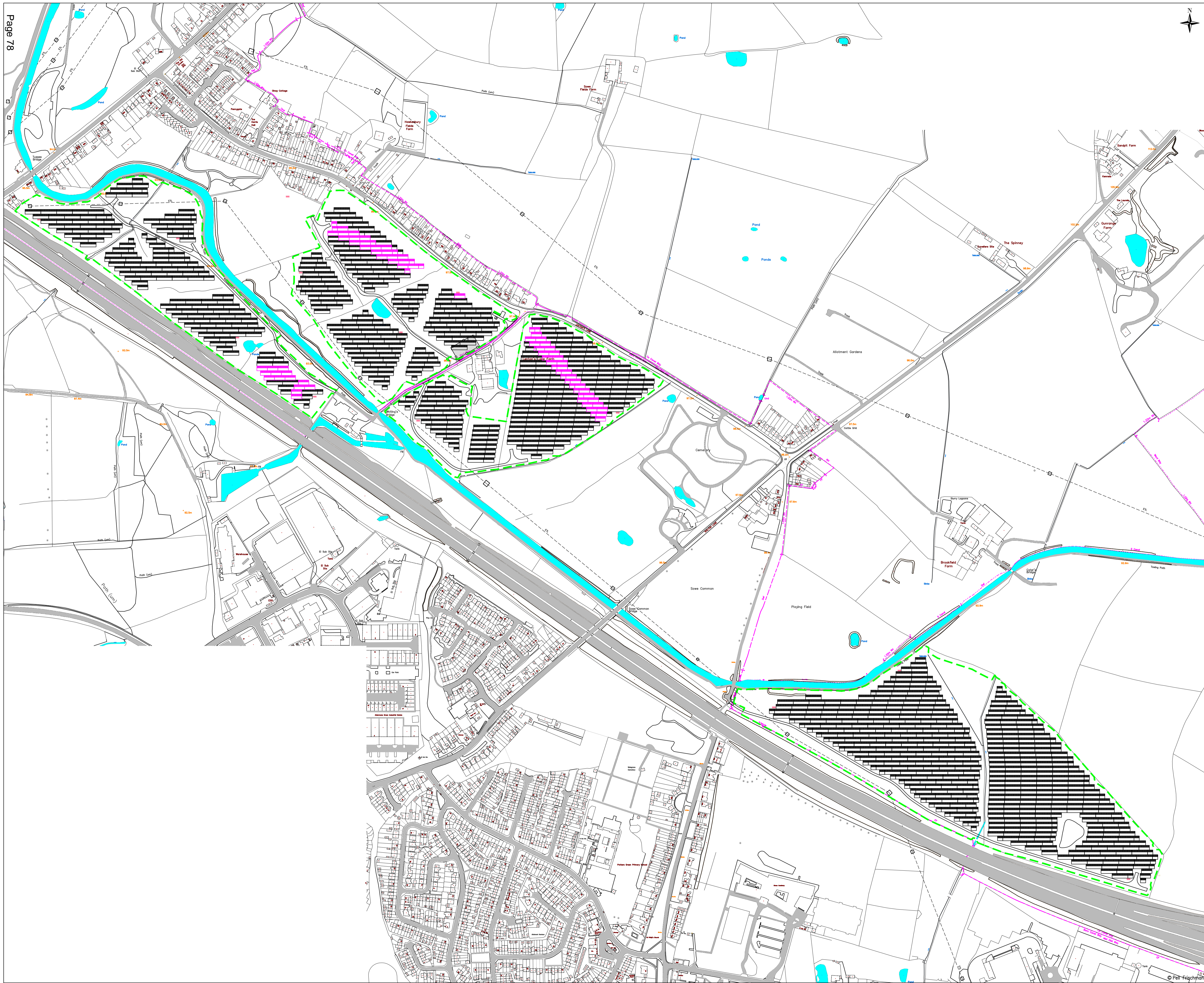
Drawing Title
Cable Connection Plan

Name	Date	Scale	Custom	A1
Designed	JS	22.12.2023	File	231223 Lentons Lane Cross Sections
Checked	GB	22.12.2023	Drawing Status	REVISION
Drawing No.	SK06			Revision
				003



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- KEY:

- Proposed Fence
- Control Building
- Inverter Container
- Construction Compound
- Solar Panels (Piled)
- Solar Panels (Ground mounted)



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Client
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Project
LENTONS LANE SOLAR FARM

Drawing Title
Fence Boundary Plan

Name	Date	Scale	Custom
Designed	JS	22.12.2023	File 231223 Lentons Lane Cross Sections
Checked	GB	22.12.2023	Drawing Status REVISION
Drawing No.	SK05		Revision 003

Planning Committee Report	
Planning Ref:	PL/2023/0002538/FUL & PL/2023/0002495/LBC
Site:	The Stables, Styvechale Manor Courtyard, 28 Leamington Road, Coventry, CV3 6GG
Ward:	Earlsdon
Proposal:	Demolition of existing outbuildings and erection of 4no. new build dwellings and associated works, and; Listed building consent for the demolition of existing outbuildings and erection of 4no. new build dwellings and associated works
Case Officer:	Richard Edgington

SUMMARY

This application considers the relevant material planning considerations in respect of the demolition of existing outbuildings to create four new detached residential dwellings and associated works, this report also considers the impact of the proposed development upon the Grade II Listed Building.

BACKGROUND

This report considers both applications PL/2023/0002538/FUL and PL/2023/0002495/LBC. The full application considers the relevant material planning considerations in respect of the development. This report also considers the impact of the proposed development upon the Grade II Listed Building, a designated heritage asset within the Listed Building Consent application. It should be noted that in order to implement the development, both the full and listed building consents are required.

KEY FACTS

Reason for report to committee:	The application has been referred to planning committee as more than 5 objections have been received
Current use of site:	Former paddock/menage, residential units to front and timber structure
Proposed use of site:	Residential
Proposed no of units	4
Parking provision	10 (8x Allocated, 2x Visitor)

RECOMMENDATION

Planning Committee are recommended to grant planning permission subject to conditions.

Planning Committee are also recommended to grant Listed Building Consent, subject to conditions.

REASON FOR DECISION

- The proposal is acceptable in principle.
- The proposal will not adversely impact upon highway safety.
- The proposal will not adversely impact upon the amenity of neighbours.
- The proposal will not cause any harm to the setting of the listed building/designated heritage asset which is not offset by public benefit.

- The proposal will not give rise to harm to the setting of the Grade II Listed Building.
- The council has duly considered the development proposal in accordance with Section 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990.
- The proposal accords with Policies: DS3, H3, H5, DE1, AC2, AC3, GE3, GE4 and HE2 of the Coventry Local Plan 2016, together with the aims of the NPPF.

SITE DESCRIPTION

The application site relates to the former paddock and stables/menage that lies to the rear of Styvechale Manor, the site is understood to have been separated in around 1999. The site subject to this application does not form part of the amenity space associated within the existing manor. Part of the site also includes the existing parking area and the existing building to the front of the site and backs onto the Leamington Road.

The building is accessed from the Leamington Road through brick pillar columns either side. The frontage of the manor lies directly ahead and appears as a traditional manor house set within a maintained/landscaped frontage, the vehicular access goes to the frontage of the building and there is a small area of hardstanding to the north, adjacent to the boundary of No. 26 Leamington Road. The access to the proposed dwellings will use the existing access to the south of the site which provides the main parking area for the flats within the manor.

The building to the frontage (which fronts the parking area) is understood to be in use as two residential units. The building, whilst traditionally styled, is not original and was an addition erected circa 1920/30's, this building does not form part of the listing. The amenity space associated with the building fronts Leamington Road which has a walled boundary treatment albeit with ad-hoc boundary treatments set within the site of which are of low quality/design. The rear elevation facing Leamington Road has little architectural merit, there are windows to the ground floor but from wider vantage points the slate roof and chimney stack are the two prominent features of the building.

To the rear of the parking area lies a timber structure which is, or has been, in use recently as a residential dwelling. The building is of low quality and is set on a concrete base with a brick plinth, the roof is felted and is more akin to a domestic outbuilding. Beyond which lies a stable block which again has not been in use for a period of time. The site is surrounded largely by established landscape features. Within the site, the former menage and paddock area has been largely unmaintained, a number of small trees are sited in the centre of the site, more established landscape features within the site are present to the north, behind the Manor House.

It is understood that at the Manor was formerly in use as a school known as Bremond College, however at some point in the early post war period the site was converted into 17 flats. The site is also bound by residential dwellings to the north west within Armorial Road, Stivichall Croft to the south and Leamington Road to the north.

When considering site constraints, the Manor House is Grade II Listed, the site also lies within an archaeological constraint area and lies within the air quality management area.

APPLICATION PROPOSAL

The application as proposed seeks consent for planning permission and Listed Building Consent (as required for relevant elements) for the demolition of existing outbuildings, comprising the stable block, a timber structure formerly in use as a dwelling and associated structures, the existing dwelling to the front of the site is also to be removed, all of which do not form part of the listing of the building. The application proposes the erection of four residential dwellings, together with associated works including access, parking, landscaping and boundary treatments.

PLANNING HISTORY

There have been a number of historic planning applications on this site; the following are the most recent/relevant:

Application Number	Description of Development	Decision and Date
PL/2023/0002538/FUL	Demolition of existing outbuildings and erection of 4no. new build dwellings	Pending consideration
PL/2023/0002495/LBC	Listed building consent for the demolition of existing outbuildings and erection of 4no. new build dwellings and associated works	Pending consideration
PL/2023/0000249/LDCE	Lawful development certification for the existing use of flat 4 as a residential dwelling	Granted 26.04.2023
PL/2023/0000247/LDCE	Lawful development certification for the existing use of flat 1 as a residential dwelling	Granted 26.04.2023
LB/2021/3268	Replacement of first floor external double doors	Granted 16.03.2022
LB/2020/3077	Listed Building consent to replace the existing doors in the rear fire escape	Granted 04.02.2021
S/1966/0811	Erection of extension to existing hall to form stage and dressing room	Granted 15.04.1966
S/1965/0879	Erection of conservatory	Granted 29.04.1965
S/1953/0585	Extension of planning permission for alterations and additions to classroom	Granted 20.05.1953

POLICY/LEGISLATION

Legislation

Section 66 (Listed Buildings) - Planning (Listed Building and Conservation Areas) Act 1990

National Policy Guidance

National Planning Policy Framework (NPPF) December 2023. The NPPF sets out the Government's planning policies for England and how these are expected to be applied. It sets out the Government's requirements for the planning system only to the extent that is relevant, proportionate and necessary to do so. The NPPF increases the focus on achieving high quality design and states that it is "fundamental to what the planning and development process should achieve".

The National Planning Practice Guidance (NPPG) adds further context to the NPPF and it is intended that the two documents are read together.

Local Policy Guidance

The current local policy is provided within the Coventry Local Plan 2016, which was adopted by Coventry City Council on 6th December 2017. Relevant policy relating to this application is:

Policy DS1: Overall Development Needs

Policy DS3: Sustainable Development Policy

Policy H1: Housing Land Requirements

Policy H3: Provision of New Housing

Policy H4: Securing a Mix of Housing

Policy H9: Residential Density

Policy GB1: Green Belt and Local Green Space
Policy GE1 Green Infrastructure
Policy GE3: Biodiversity, Geological, Landscape and Archaeological Conservation
Policy GE4: Tree Protection
Policy DE1 Ensuring High Quality Design
Policy HE2: Conservation and Heritage Assets
Policy AC1: Accessible Transport Network
Policy AC2: Road Network
Policy AC3: Demand Management
Policy AC4: Walking and Cycling
Policy EM1: Planning for Climate Change Adaptation
Policy EM2: Building Standards
Policy EM3 Renewable Energy Generation
Policy EM4 Flood Risk Management
Policy EM5 Sustainable Drainage Systems (SuDS)
Policy EM7 Air Quality

Supplementary Planning Guidance/ Documents (SPG/ SPD):

SPG Design Guidelines for New Residential Development
SPD Delivering a More Sustainable City
SPD Coventry Connected

CONSULTATION

- Archaeology: Additional archaeological information required (this information has duly been secured via condition)
- Conservation: No objection, subject to conditions securing the materials.
- Coventry Society: No comments received.
- Ecology: No objections, subject to conditions
- Environmental Protection: No objection, subject to air quality mitigation measures and a CEMP being secured via condition.
- Highways: No objection, subject to conditions.
- Historic England: No comments to make.
- Lead Local Flood Authority: No objection, subject to conditions.
- Planning Policy: No objection
- Tree Officer: Additional information requested.
- Urban Design: No objection.

Neighbour consultation

Immediate neighbours and local councillors have been notified; a site notice was posted on 3rd January 2024. A press notice was displayed in the Coventry Telegraph on 11th January 2024.

Twelve representations have been received, eleven representations have been received for the full application and one for the Listed Building Consent, all of which raising objections to the proposed development, a summary of the material planning considerations are as follows;

- Increase in noise as a result of the installation of air source heat pumps
- Land not allocated within the local plan
- Increase in traffic and highway demand
- Loss of biodiversity
- Increase in noise and disturbance to exiting residents
- Loss of privacy/overlooking
- Refuse vehicles unable to access site
- Increase in flood risk
- Lack of clarity on boundary treatments
- Loss of trees
- Widening of the access would take place in an archaeological constraint area
- Harm caused to the setting of the listed building due to the loss of the rural feel
- Size of the dwellings of a similar footprint to the manor
- Building in close proximity to the heritage asset does not accord with conservation principles

Any further comments received will be reported within late representations.

APPRAISAL

The main issues in determining this application are principle of development, the impact upon the character of the area and heritage assets, the impact upon neighbouring amenity, highway considerations, flood risk, noise, contaminated land, air quality, ecology and trees.

Principle of Development

Paragraph 11 of the NPPF (2023) sets out the presumption in favour of sustainable development, in this case the Council acknowledges that at the time of writing/determination of the application there is an absence of a five-year housing land supply. Currently, the Council considers that it can demonstrate a supply of 2.12 years. As such for decision making, inclusive of this application as none of the criterion/exceptions set out under footnote 7 apply, that 11d of the NPPF is engaged whereby development proposals should be approved unless; 'any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this Framework taken as a whole'.

Considering the principle of the delivery of housing against the relevant sections of the adopted Local Plan, Policy DS3 is consistent with the NPPF in that the presumption in favour of sustainable development applies. Policy H1 sets out the housing land requirements over the plan period (2011-2031) to include a minimum of 24,600 dwellings. As indicated, as the Local Plan is in excess of five years old the government's standard methodology applies which is what has resulted in the significant change of the Council's 5-year Housing Land Supply position, in June 2023 during a public inquiry the council conceded that at that time a 1.83 year supply was the position. However, since this appeal there has been an increase in the supply of homes across the city with units being added to the housing stock, thereby improving the position to the 2.12 years as set out above.

It is noted that within the consultation period a number of residents have objected to the planning application as the site is not allocated within the adopted Local Plan for housing. However, the absence of an allocation does not necessarily preclude developments for housing being acceptable. Indeed, within the housing trajectory, it is noted that windfall sites comprising primarily

smaller parcels of land coming forward for development are anticipated over the plan period and will make a modest contribution to the housing supply to the city. In this case, the site lies within an established residential setting and is directly adjacent to residential dwellings to all sides.

Policy H3 of the adopted Local Plan also relates to the provision of new housing and requires sites and developments to provide a quality living environment for future occupiers which does not have contaminants, noise and air quality issues. H3 also sets out a criterion that developments should wherever possible be located;

- a. within 2km radius of local medical services;
- b. within 1.5km of a designated centre within the city hierarchy (policy R3);
- c. within 1km radius of a primary school;
- d. within 1km of indoor and outdoor sports facilities;
- e. within 400m of a bus stop; and
- f. within 400m of publicly accessible green space.

The site meets the criterion set out in H3, taking all of the above into account, the presumption in favour of sustainable development does apply in this case, and the site is located in an existing urban area bound on all sides by residential dwellings. There is also no green space or other designations on the site which would otherwise preclude the principle of residential development being acceptable, subject to compliance with the relevant policies set out within this report in this case.

Highways

Policy AC1 'Accessible Transport Network' states that development proposals which are expected to generate additional trips on the transport network should: a) Integrate with existing transport networks including roads, public transport and walking and cycling routes to promote access by a choice of transport modes. b) Consider the transport and accessibility needs of everyone living, working or visiting the city. c) Support the delivery of new and improved high quality local transport networks which are closely integrated into the built form. d) Actively support the provision and integration of emerging and future intelligent mobility infrastructure. Policy AC2 seeks to ensure that development proposals do not have a detrimental impact upon the road network and where required suitable mitigation should be provided as part of any approval, i.e. through obligations.

Policy AC3 of the Local Plan acknowledges that the provision of car parking can influence occurrences of inappropriate on-street parking which can block access routes for emergency, refuse and delivery vehicles, block footways preventing access for pedestrians, reduce visibility at junctions and impact negatively on the street scene. Proposals for the provision of car parking associated with new development will be assessed on the basis of parking standards set out in Appendix 5. The car parking standards also include requirements for the provision of electric car charging and cycle parking infrastructure.

Parking provision for development proposals is expected to meet the council's adopted parking standards as set out within Appendix 5 of the Coventry Connected SPD. Policy AC4 seeks to ensure that development proposals incorporate walking any cycle infrastructure.

Within the consultation period it is noted that a number of representations have been made that the proposed development will increase traffic generation within the site and will in turn have a detrimental impact upon the Leamington Road/Stivichall Croft junction. It should however be noted that the existing structures within the site contain residential units, together with the paddock. The applicants in support of the application have undertaken a transport assessment, the trip generation associated with the site demonstrates that there will not be an increase in trips

as a result of the proposed development, and the impact upon the highway network and existing access within the site is deemed to be neutral. Whilst it is acknowledged that there will be a short-term impact during the phase of the works which will be required to develop the site, it is considered that this can be adequately mitigated with a Construction and Environmental Management Plan which will detail how the site is to operate inclusive of deliveries, together with suitable storage areas, which is deemed acceptable and proportionate.

When considering the layout of the site, the dwellings will be accessed from the existing access from Leamington Road and through the existing shared parking area associated with the flats. No changes are proposed to this parking area and this will be retained for the existing occupiers of the flats. The CEMP will seek to ensure that no storage of materials or construction vehicles will take place in this area so as to ensure that there will not be an increased demand which would likely displace existing vehicles.

Each of the plots will provide driveways allocating two generously proportioned spaces, which could in theory accommodate three vehicles as these are 7.5m in width. In addition to the six spaces, garages are also proposed to Plots 1-3. Two visitor bays are also to be located in the approximate location of the existing timber dwelling which is to be removed as part of the development. The applicants have included a turning head also within the gated part of the development serving plots 1-3 which will allow for sufficient manoeuvrability within the site.

As previously indicated, the parking area for the existing flats is to remain unchanged, the parking area to the south, where the application site is accessed from contains ten spaces for the seventeen flats, a further small courtyard is located to the north which could serve as a drop off, as can the existing driveway to the front of the building. No additional spaces are required for the proposed flats as the existing provision, which is historic and pre-dates the adopted parking standards is maintained. Whilst the overall provision is short for the flats, as the provision pre-dates the adopted of the standards requiring additional provision for the existing units would not be deemed reasonable or necessary for the development to be considered acceptable.

With regards cycle storage, garages are proposed for Plots 1-3 which will provide a suitable area for cycle storage, this has not been provided for Plot 4, however this has duly been secured via planning condition.

Finally, in respect of waste collection, it is acknowledged that there may be difficulties for a large refuse vehicle entering the part of the site in which the dwellings are to be located. It is therefore likely that a private collection service or refuse collection area will be required in order to facilitate the refuse collection. Waste Management have not made comments on this application to date, however a refuse collection strategy/mechanism is secured via condition which will allow full details to be considered and retained thereafter. With the conditions indicated, together with the requirement to provide each plot with their respected parking prior to first occupation it is considered that the application will be acceptable in respect of highways.

Design, Character and Impact on Heritage Assets

It is noted that within the consultation a number of residents have raised concern as to the impact of the proposed development upon the heritage asset, and that the development of the site will erode the historical and 'rural feel' of the site, concern has also been raised that the proposed development is out of keeping with the area.

It is set out within the heritage statement and agreed by both the Conservation and Urban Design Officers that the existing structures comprising the outbuildings and stables, together with the building to the front of the site do not make a positive contribution to the site or indeed the setting

of the designated heritage asset. There is therefore deemed to be public benefit for the removal of the non-original, low-quality structures.

Furthermore, it is recognised within the heritage impact assessment submitted with the application that the wider area of the site was previously part of the original manor estate. The assessment sets out that the development of the surrounding residential streets and dwellings around the site have significantly eroded the setting of the original building which resulted in the diminishing of the original agrarian landscape. It is therefore considered that the principle of developing the land is not objected to in principle given the surrounding residential form/townscape, however it is expected that the plots must make a positive contribution to the setting of the listed building in accordance with Policies DE1 and HE2 of the adopted Local Plan, each plot is duly considered in turn;

Plots 1 and 2

To accommodate plots 1 and 2 the existing stable block and remnants of the menage will be removed, these buildings are not deemed to be of a quality to warrant retention and do not positively contribute to the setting of the manor. The area of the south west of the site will accommodate the two plots which are five-bedroom detached units of two storeys in height, both adopt the same design but are 'mirrored'.

The scale and siting of the dwellings are set back from the buildings and the dwellings have been designed to a high quality. Whilst modern designed dwellings, which incorporate integrated solar panels, the applicants are seeking to instate visual interest by using high quality brick finishes, which is to be secured via condition at the request of the Conservation Officer. The elevational treatments incorporate projecting wings surmounted by gables will flank either side of the main entrance (the outermost of which will contain a bay window), whilst in turn being surmounted by a hipped, plain-clay tiled roof.

The elevations also incorporate a patterned, textured brick design whilst keystones and gables will have dentilled eaves which again are deemed to be a nod to a traditionally designed architectural style.

It is considered that the units are of a high quality in design and with quality materials will enhance the setting of the listed building from the existing low quality and underused area. The units will also relate well to the other dwelling types being proposed.

Plot 3

Plot 3 is considered in the view of the case officer to be the most sensitive plot/location within the application site due to the close proximity of the Manor House, which will have a flank to rear relationship to the building. Within the plot the mature landscape details are to be retained. The dwelling will contain a detached bungalow with pitched roof, the rationale for the single storey unit in this location is to ensure that the scale of the building positively responds to the setting of the manor and retains sightlines to the building from dwellings to the rear within Armorial Road.

As identified on the submitted sections, the ridge height will rise only partially above the 20th century rear extensions of Styvechale Manor, which are not part of the listing of the building. The plot will incorporate two gables with a hipped roof, which incorporate solar panels set within the roof slope. The elevational detailing also shows traditionally styles fenestrations and quality materials used within the design, the dentilled eaves feature and the brick profiling will be continued to this front gable.

Plot 4

With respect to Plot 4, the existing building as indicated dates from the 1920/30s and has been significantly altered over time. A structural survey of the building identifies a number of issues with the structure, notably the roof is not weathertight and timbers within the roof space are understood to have wood worm. The applicants have also indicated that there is clear evidence of damp, likely as a result of the decline of the bricks and mortar used within the elevations.

The applicants are therefore seeking to replace the building with a two storey, three bedroom dwelling which will occupy a similar footprint of the existing dwelling. The materiality will be continued to this dwelling, but unlike the other dwellings will incorporate a more traditional style which incorporates pitched style dormers, conservation roof lights and a timber canopy to the frontage, also incorporated is the sloping roof feature down to ground floor level which is similar to that of the existing style from the street scene.

Design Summary

Overall, in design terms it is considered that the design of the dwellings as proposed are of high quality and will be a successful transition of modern residential units and traditionally designed buildings which will complement the setting of the listed building, the retention of landscape features and continuation of hard landscaping, the material again of which is secured by condition, will create a high-quality residential scheme.

There is not considered to be harm caused to the heritage asset, and there are also public benefits of the scheme insofar as a high-quality scheme will be created to enhance the setting of the listed building, whilst bringing back into use a site which has been left unkept and contains a number of non-original features which are of low quality and in a state of disrepair. The scheme will also add four quality homes which will contribute to the city's housing stock at a time where the council cannot demonstrate a five-year housing land supply.

Residential Amenity

Policies H3, H5 and DE1 of the adopted Local Plan seek to ensure that development proposals provide a suitable living environment for future occupiers, whilst also not resulting in a detrimental impact to existing/neighbouring residential occupiers, the NPPF reaffirms the importance of quality design.

Whilst the visual appearance and impact of the development proposal is set out in the preceding section of this report, regard has also duly been given to the living environment for existing and future occupiers.

Considering the prospective occupiers of the dwellings, the Nationally Described Space Standards (NDSS) (2016), which assists in providing an indication of the dimensions of dwellings. CCC's New Residential Design Guide SPD, adopted 2023, also sets out the expectation for amenity space for residential dwellings. In this case all four units far exceed the internal dimensions for dwellings, the provision of amenity space also meets and exceeds the local requirements set out in the SPD. The quality of the development and the layout is also deemed conducive to providing quality living accommodation which will make a positive, and very modest contribution to the city's market housing stock.

When considering the impact of the proposed development upon existing residents, the primary relationship in this case is that of the proposed units and the existing residents within the flats in Styvechale Manor. The separation distance of the nearest dwelling (Plot 3) to the rear is 9m at its closest point (rear to flank), no windows are proposed in the side elevation of Plot 3, and as

this is a single storey dwelling it is not considered that there will be a negative impact in terms of loss or outlook which could give rise to conflict between habitable room windows.

A number of objections have been received from surrounding residents indicating the development of the site will give rise to noise and disturbance, together with overlooking issues. The Council's adopted Residential Design Guide adopted a 13m separation distance (rear to side), and 20m (rear to rear) at first floor window level. Plots 1 and 2 will have a flank to rear relationship with the closes dwellings of 47m and 42m respectively and therefore far exceeds the adopted standards. Furthermore, the first floor side elevational windows on each respective plot has been conditioned to be obscurely glazed as they serve a bathroom. Whilst there will be sightlines from dwellings into neighbouring gardens, the distances and orientations that these views will be taken from are set away by 16.5m in the case of Plots 1 and 2, and with retained landscaping will be well screened. Sightlines from Plot 4 to the rear garden of the neighbour to the south will also be relatively distant and will not be any worse than the existing relationship with the current building or indeed sightlines from the upper floor windows of the Manor.

Objections have also been made in respect of the removal of boundary treatments and increase in noise arising from the site. It should be noted that full details of boundary treatments have been secured via condition and the use of the site as a residential development, set within a residential context is an appropriate land use and will not give rise to significant noise concerns. For these reasons, and with the conditions duly appended it is considered that the development is acceptable in terms of providing a suitable residential environment, whilst not being of detriment to existing residents.

Ecology/Biodiversity

Paragraph 180 of the NPPF (2023) states that planning decisions should minimise impacts on and provide net gains for biodiversity, including by establishing coherent ecological networks that are more resilient to current and future pressures within the site.

Policy GE1 of the adopted Local Plan expects new development proposals to make provision for green infrastructure to ensure that such development is integrated into the landscape and contributes to improvements in connectivity and public access, biodiversity, landscape conservation, design, archaeology and recreation. Whilst also maintaining the quality and quantity of existing green infrastructure, and where the quantity is not retained, enhancement to quality is expected.

Policy GE3 of the Local Plan states proposals for development will be permitted provided that they protect, enhance and/or restore habitat biodiversity. Development proposals will be expected to ensure that they:

- Lead to a net gain of biodiversity, where appropriate, by means of an approved ecological assessment of existing site features and development impacts.
- Protect or enhance biodiversity assets and secure their long-term management and maintenance.
- Avoid negative impacts on existing biodiversity; and
- Preserve species which are legally protected, in decline, are rare within Coventry or which are covered by national, regional or local Biodiversity Action Plans.

In this case the site is not located within, or in proximity of, a statutory or non-statutory wildlife site. As previously set out the site was previously used as a paddock and menage and was therefore managed, there are areas of dense planting and established trees within the site.

There have been a number of objections received to the application due to the loss of the existing site/grassland to accommodate the development, the concerns primarily relate to the loss of vegetation and in turn habitats for a number of species of birds and mammals.

However, as identified in the submitted Ecological Appraisal, much of the development lies within areas of the site which are identified as being of low ecological value. The appraisal also identifies that the landscape features in the form of mature trees and planting provide the highest ecological value within the site, the report recommends the retention of these features. As part of the re-development of the site, the mature features are to be retained, and whilst there will be some tree loss within the site to accommodate the development, detailed, and wildlife friendly planting mitigation is proposed to off-set any loss.

The Council's Ecologist has been consulted and raise no objections to the proposed development and with the planting and habitat improvements proposed will result in a net gain in biodiversity of 0.27 units with a net hedgerow gain of 0.19 units. A series of conditions have been appended to the decision securing further details and ongoing maintenance/management of the site, inclusive of the securing of a wildlife friendly lighting scheme. A key aspect is the retention of the landscape features to the north of the site to the rear of Plot 3. Further detailing will be required to ensure that this area is secured and managed to ensure that it does not form part of the amenity space associated with Plot 3 which may result in additional management, maintenance and works to the area which would be of detriment to the ecological features/habitats within the site. Overall, with the conditions securing the mitigation against the loss of biodiversity, and the result of biodiversity net gain within the site it is considered that the application accords with the aforementioned policies and is therefore acceptable.

Trees

Paragraph 136 of the NPPF (2023) attributes trees to making an important contribution to the character and quality of urban environments and can also help mitigate and adapt to climate change. As such the NPPF is clear in that planning decisions should ensure that new streets are tree-lined and that appropriate measures are in place to secure the long-term maintenance of newly-planted trees, and that existing trees are retained wherever possible.

Policy GE4 of the Local Plan states the development proposals will be positively considered provided that:

- a) there is no unacceptable loss of, or damage to, existing trees or woodlands during or as a result of development, any loss should be supported by a tree survey.
- b) trees not to be retained as a result of the development are replaced with new trees as part of a well-designed landscape scheme; and
- c) existing trees worthy of retention are sympathetically incorporated into the overall design of the scheme including all necessary measures taken to ensure their continued protection and survival during construction

In this case the applicants submitted an arboricultural report, however concerns were raised by the Tree Officer as to the scope of the appraisal which was submitted which was restricted to only the trees with canopies within the site as opposed to mature trees adjacent to the site, of which root protection areas will likely fall within the red line boundary. There was also limited detail as to the protection measures which were proposed during the construction phase. As a result, the Case Officer, at the Tree Officer's request discussed the issues with the applicants and in turn a revised tree report has been submitted which includes the scope requested by the Tree Officer.

No objections have been raised in principle to the development or the additional information provided by the Tree Officer. However, the Tree Officer, at the time of writing this report, is still

reviewing the information and formulating the relevant conditions which will be appended to the decision. These conditions and any further update as required will be circulated to members prior to planning committee.

Archaeology

Policy HE2 of the adopted Local Plan seeks to ensure that development proposals do not cause harm to heritage assets in the form of archaeology, this is consistent with Paragraph 200 of the NPPF (2023).

Whilst the above ground heritage considerations have duly been considered in the preceding sections of this report it should also be noted that the entirety of the application site lies within an archaeological constraint area. Records indicate that the site lies within an area which is believed to have once contained a medieval moated manor. Whilst the surrounding dwellings have been erected over the proximity of the manor, there is little evidence with the exception of the structures which are in situ currently of the site having been previously developed or excavated.

To date, the submitted archaeological assessment is desk based, however given the sensitivities within the site it is deemed both necessary and appropriate to require more comprehensive and intrusive investigations prior to the commencement of the development to further assess whether any remains are located within the site.

As such a pre-commencement condition, which has been discussed with the Council's Archaeology Officer has been appended to the decision requiring further details to be provided ahead of the commencement of the development, with this condition attached it is deemed that the application is acceptable in this regard.

Drainage and Flood Risk

Policy EM4 for the Local Plan states that all major developments must be assessed in respect of the level of flood risk from all sources and that all opportunities to reduce flood risk in the surrounding area must be taken, including creating additional flood storage. Furthermore, Policy EM5 states that all development must apply SuDS and should ensure that surface water runoff is managed as close to its source as possible.

When determining planning applications, Local Planning Authorities should ensure flood risk is not increased elsewhere and only consider development appropriate in areas at risk of flooding where, informed by a site-specific flood risk assessment following the Sequential Test, and if required the Exception Test, it can be demonstrated that:

- Within the site, the most vulnerable development is located in areas of lowest flood risk unless there are overriding reasons to prefer a different location; and
- Development is appropriately flood resilient and resistant, including safe access and escape routes where required, and that any residual risk can be safely managed, including by emergency planning; and it gives priority to the use of sustainable drainage systems.

Within the consultation, it was suggested that the site is liable to an increased flood risk, the site lies entirely within Flood Zone 1 and is deemed to be at a low risk of flooding, on the council's mapping system a small, hatched area lies within the site which suggests there may be historic records of excess surface water. However, with the proposed development, improvements will be made to the drainage of the site with the installation of increased attenuation and enhanced permeable materials.

The Lead Flood Authority have been consulted on the application and note that the applicants are seeking to incorporate SUDs into the development, including the use of below ground attenuation. No principal objections have been raised by the LLFA to the drainage details but suggestions have been made to improve the detailed drainage design by removing the use of plates within the system to minimise the risk of blockages to the system.

With this exception, the LLFA raise no objections subject to a condition being appended to the decision securing full details of the proposed drainage system. As such the proposed development, with this condition attached accords with Policies EM4 and EM5 of the Local Plan.

Air Quality

Policy EM7 requires new developments to ensure that there is not an increase in air quality issues, this is supported and consistent with Paragraph 192 of the NPPF (2023) which states that planning decisions will have due regard for Air Quality Management Areas, of which the site and the rest of the city lies within.

In this case the applicants within the submitted documents indicate that integrated solar panels are to be installed on the proposed dwellings, provisions for cycle storage are to also be proposed. Further to this Environmental Protection have requested conditions be appended to the decision to secure details of any air source heat pumps if proposed and/or low emission boilers be used in each of the dwellings, together with the provision of electric vehicle charging points.

Whilst concerns have been raised by neighbours that the use of air source heat pumps will increase noise pollution in the area, the use of a heat pump for a domestic premises is not deemed likely to give rise to noise issues, especially when neighbours elevations will be located at a minimum of 9m (to flank) for Plot 4, 10.75m to the rear of the Manor and 42m from the remaining plots to dwellings within Stivichall Croft and Armorial Road. In any case specifications of such additions will be required to be secured via condition if proposed within the development. With this condition attached the application is deemed acceptable in this regard.

Equality Implications

Section 149 of the Equality Act 2010 created the public sector equality duty. Section 149 states:-

- (1) A public authority must, in the exercise of its functions, have due regard to the need to:
 - a) eliminate discrimination, harassment, victimisation and any other conduct that is prohibited by or under this Act;
 - b) advance equality of opportunity between persons who share a relevant protected characteristic and persons who do not share it;
 - c) foster good relations between persons who share a relevant protected characteristic and persons who do not share it.

Officers have taken this into account and given due regard to this statutory duty, and the matters specified in Section 149 of the Equality Act 2010 in the determination of this application.

There are no known equality implications arising directly from this development.

Conclusion

Overall, it is considered that the development as proposed will not result in any harm to the Grade II Listed heritage asset as the proposed layout, design and scale of the development, together

with the quality design features and architectural detailing will respond appropriately to the existing Manor, a Grade II Listed Building.

The development as proposed also accords with other relevant sections of the adopted Local Plan in that there will not be a detrimental impact upon the existing highway network and will make suitable provisions for drainage improvements, ecological mitigation and incorporate air quality measures, all of which are in accordance with the adopted Local Plan and the principles of the NPPF.

Given that there is also no identified harm upon the heritage asset, the tilted balance under 11d of the NPPF is engaged in that there is a presumption in favour of the development, and in the absence of any adverse impacts identified in the granting planning permission that significantly and demonstrably outweigh the benefits of the scheme it is therefore recommended that planning permission is granted, subject to conditions.

In undertaking this assessment, the Council has also had due regard to Section 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990, and it is also recommended that Listed Building Consent is also granted.

CONDITIONS / REASONS - PL/2023/0002538/FUL

1.	<p>The development hereby permitted shall be carried out in accordance with the following approved plans:</p> <ul style="list-style-type: none">• Proposed Compliance Plan DWG PL-14. Rev A• Proposed Site Floor Plan DWG PL-13. Rev A• Planning Statement• Transport Scoping Report• Structural Inspection of the Building• Heritage Impact Assessment• Plot 4 - Proposed Floor Plans and Elevations DWG PL-25• Proposed Site Section DWG PL-28. Rev A• Drainage Strategy• Landscape and Ecological Enhancement Scheme DWG 1241_1. Rev A• Proposed Amenity Assessment DWG PL-16. Rev A• Proposed Building Heights Plan DWG PL-17. Rev A• Plot 1 Proposed Ground Floor and First Floor Plan DWG PL-20• Plot 1 Proposed Elevations DWG PL-21• Plot 2 Proposed Ground Floor and First Floor Plan DWG PL-22• Plot 1 Proposed Elevations DWG PL-23• Plot 3 Proposed Floor Plans and Elevations DWG PL-24• Proposed Site Block Plan DWG PL-11. Rev A• Proposed Site Plan - Demolition DWG PL-12• Phase 1 Preliminary Ecological Appraisal• BNG Calculation• Proposed Entrance Gates DWG PL-18• Proposed Site Plan DWG PL-10. Rev A• Proposed Site Section DWG PL-27. Rev A• Tree Report N 055. Rev A
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	<ul style="list-style-type: none"> • Site Location Plan
Reason	<i>For the avoidance of doubt and in the interests of proper planning</i>
2.	The development hereby permitted shall begin not later than 3 years from the date of this decision.
Reason	<i>To conform with Section 91 of the Town and Country Planning Act 1990 (as amended)</i>
3.	Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended), or any statutory instrument amending, revoking and/or replacing that Order, no extension, enlargement or addition shall be erected or constructed to any dwellinghouses hereby permitted without the prior grant of planning permission by the Local Planning Authority.
Reason	<i>Due to the restricted nature of the application site and its relationship with adjoining properties and the proximity of the Grade II Listed Building it is considered important to ensure that no additional development is carried out without the permission of the Local Planning Authority in accordance with Policies H3, HE2 and DE1 of the Coventry Local Plan 2016.</i>
4.	Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended), or any statutory instrument amending, revoking and/or replacing that Order, no buildings or enclosures shall be provided within the curtilage of, and no extensions, enlargements or additions erected or constructed to the dwellinghouses hereby permitted without the prior grant of planning permission by the Local Planning Authority.
Reason	<i>Having regard to the layout and general nature of the proposed development and its relationship with adjoining properties and the location within the setting of a listed building it is important to ensure that no development is carried out which would detract from the appearance of the area and affect the amenities of adjacent properties in accordance with Policies H3, HE2 and DE1 of the Coventry Local Plan 2016.</i>
5.	Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended), or any statutory instrument amending, revoking and/or replacing that Order, the first floor windows to be formed in the south elevation of plot 1 and the north elevation of plot 2 of the development hereby permitted shall only be glazed or re-glazed with obscure glass

	and any opening part of any window will be at least 1.7m above the floor of any room in which the window is installed
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Reason	<i>In the interests of the amenities of the occupiers of nearby properties in accordance with Policy DE1 of the Coventry Local Plan 2016.</i>
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6.	Notwithstanding the submitted details, the development hereby permitted shall not be occupied unless and until a detailed refuse storage has been submitted to and approved in writing by the Local Planning Authority. The submitted details shall include the type of, and frequency of collection and both storage and collection points within the plots and any collection area as required. All bins which serve the development within the red line site area must be stored within the approved bin storage area and not positioned on the public highway or in the open, unless on bin collection days.
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Reason	<i>In the interests of the amenities of future occupants of the residential accommodation and neighbouring occupiers in accordance with Policies DE1 of the Coventry Local Plan 2016.</i>
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7.	Prior to their incorporation into the development hereby permitted, sample details of all facing and roofing materials, together with rainwater goods shall be submitted to and approved in writing by the Local Planning Authority. These details shall be installed only in full accordance with the approved details prior to the first occupation of the development and thereafter shall be retained and shall not be removed or altered in any way.
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Reason	<i>To ensure that the proposed development has a satisfactory external appearance in the interests of the visual amenities of the area in accordance with Policy DE1 of the Coventry Local Plan 2016.</i>
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8.	Notwithstanding the plans hereby permitted, prior to the construction of a boundary wall, fence or gate details of the position, appearance and materials of such boundary treatments shall be submitted to and approved in writing by the Local Planning Authority. The boundary treatments shall be completed in full accordance with the approved details before the respective dwellings to which they serve are first occupied and thereafter shall be retained and shall not be removed or altered in any way.
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Reason	<i>To ensure that the proposed development has a satisfactory external appearance in the interests of the visual amenities of the area in accordance with Policy DE1 of the Coventry Local Plan 2016.</i>
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9.	No removal of any trees, hedges, shrubs, or demolition of any buildings or structures shall take place between 1st March and 31st August (inclusive) unless a survey to assess the nesting bird activity on the site during this period has been undertaken by a qualified surveyor, and a scheme to protect any nesting birds identified on the site has first been submitted to and approved in writing by the Local Planning Authority. No removal of any trees, hedges, shrubs, or demolition of any buildings or structures between 1st March and 31st August (inclusive) other than in strict accordance with the approved bird nesting protection scheme.
Reason	<i>To ensure that protected species are not harmed by the development in accordance with Policy GE3 of the Coventry Local Plan 2016 and the advice contained within the NPPF 2023.</i>

10.	<p>No development (including any demolition or preparatory works) shall commence unless and until a Construction Environmental Management Plan (CEMP) has been submitted to and approved in writing by the Local Planning Authority. The CEMP shall include the following:</p> <ul style="list-style-type: none"> • (a) a risk assessment of potentially damaging construction activities; • (b) identification of biodiversity protection zones (e.g. buffers to trees and hedges or to protected wildlife habitat); • (c) practical measures (both physical measures and sensitive working practices, such as protective fencing, exclusion barriers and warning signs) to avoid or reduce impacts during construction (particularly in relation to works within canopy and root protection areas for hedgerows or protected trees); • (d) the location and timing of sensitive works to avoid harm to biodiversity features (in relation to breeding birds in particular); • (e) the times during construction when specialist ecologists need to be present on site to oversee works (as required); • (f) responsible persons and lines of communication; and • (g) the role and responsibilities on site of an Ecological Clerk of Works (ECoW) or similarly competent person (as necessary). <p>The approved CEMP shall be adhered to and implemented throughout the construction period strictly in accordance with the approved details.</p>
Reason	<i>In order to safeguard protected and/or priority species from undue disturbance and impacts, noting that initial preparatory works could have unacceptable impacts; and in order to secure an overall biodiversity gain in accordance with Policy GE3 of the Coventry Local Plan 2016.</i>

11.	<p>Prior to the first occupation of the development hereby permitted a Landscape and Ecological Management Plan (LEMP) shall be submitted to and approved in writing by the Local Planning Authority. The content of the LEMP shall include the following:</p> <ul style="list-style-type: none"> • a) Description and evaluation of features to be managed; • b) Ecological trends and constraints on site that might influence management;
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	<ul style="list-style-type: none"> • c) Aims and objectives of management, including mitigation and enhancement for species identified on site; • d) Appropriate management option for achieving aims and objectives; • e) Prescriptions for management actions; • f) Preparation of a work schedule (including an annual work plan capable of being rolled forward over a ten-year period); • g) Details of the body or organisation responsible for implementation of the plan, along with funding mechanism(s) for that body or organisation; • h) Ongoing monitoring and remedial measures, including where monitoring shows that conservation aims and objectives of the LEMP are not being met. <p>The LEMP plan shall be implemented in strict accordance with the approved details within three months of the first occupation of the development and thereafter shall not be withdrawn or amended in any way.</p>
Reason	<i>In order to safeguard and enhance habitat on or adjacent to the site in order to secure an overall biodiversity gain in accordance with Policy GE3 of the Coventry Local Plan 2016.</i>

12.	No development (including any demolition or preparatory works) shall commence unless and until a further bat survey of the site has been submitted to and approved in writing by the Local Planning Authority. This shall include appropriate activity surveys in accordance with Bat Conservation Trust: Bat Surveys - Good Practice Guidelines and a detailed mitigation plan including a schedule of works and timings. The approved mitigation plan shall be implemented in full prior to any demolition or preparatory works taking place and thereafter any mitigation works shall be retained and shall not be removed or altered in any way.
Reason	<i>To ensure that protected species are not harmed by the development in accordance with Policy GE3 of the Coventry Local Plan 2016 and the advice contained within the NPPF 2023.</i>

13.	Prior to the installation of any street lighting or any external lighting to be fixed to any building(s), an external lighting strategy (including a plan) shall be submitted to and approved in writing by the Local Planning Authority. The strategy shall demonstrate that lighting shall be kept to a minimum at night in order to minimise impact on emerging and foraging bats, and to restrict light spillage onto foraging corridors. The lighting shall be installed in full accordance with the approved strategy and all lighting thereafter shall be subsequently maintained in strict accordance with the approved details.
Reason	<i>To ensure that protected species are not harmed by the development in accordance with Policy GE3 of the Coventry Local Plan 2016 and the advice contained within the NPPF 2023.</i>

14.	Each of the dwellings hereby permitted shall not be occupied unless and until the car parking provision for that dwelling/plot has been constructed or laid out and made available for use by the occupants and / or visitors to the dwellings and thereafter those spaces shall be retained for parking purposes at all time and shall not be removed or altered in any way.
Reason	<i>To ensure the satisfactory provision of off-street vehicle parking facilities in accordance with the Council's standards and in the interests of highway safety and the satisfactory development of the site in accordance with Policies AC1, AC2 and AC3 of the Coventry Local Plan 2016.</i>
15.	Prior to occupation of the Plot 4 of the development hereby permitted, details of cycle parking facilities shall be submitted to and approved in writing by the Local Planning Authority. The cycle parking facilities shall be provided in full accordance with the approved details prior to first occupation of the building and thereafter those facilities shall remain available for use at all times and shall not be removed or altered in any way.
Reason	<i>In the interests of encouraging the use of alternative modes of transport with the aim of creating a more sustainable city in accordance with Policies DS3, AC3 and AC4 of the Coventry Local Plan 2016.</i>
16.	<p>No development (including any demolition) shall take place unless and until a Construction Management Plan (CMP) has been submitted to and approved in writing by the Local Planning Authority. The CMP shall include details of</p> <ul style="list-style-type: none"> • - hours of work; • - hours of deliveries to the site; • - the parking of vehicles of site operatives and visitors during the demolition/construction phase; • - the delivery access point; • - the loading and unloading of plant and materials; • - anticipated size and frequency of vehicles moving to/from the site; • - the storage of plant and materials used in constructing the development; • - the erection and maintenance of a security hoarding including decorative displays and facilities for public viewing where appropriate; • - wheel washing facilities and other measures to ensure that any vehicle, plant or equipment leaving the application site does not carry mud or deposit other materials onto the public highway; • - measures to control the emission of dust and dirt during demolition and construction; • - measures to control the presence of asbestos; • - measures to minimise noise disturbance to neighbouring properties during demolition and construction; <p>Thereafter, the approved details within the CMP shall be strictly adhered to throughout the construction period and shall not be amended in any way.</p>

Reason	<i>The agreement of a Construction Management Plan prior to the commencement of development is fundamental to ensure a satisfactory level of environmental protection; to minimise disturbance to local residents and in the interests of highway safety during the construction process in accordance with Policies AC1 and AC2 of the Coventry Local Plan 2016.</i>
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17.	<p>Prior to their incorporation into the development hereby permitted, a package of measures to minimise the impact of the development upon local air quality shall be submitted to and in writing by the Local Planning Authority. These measures shall have consideration of the following: -</p> <ul style="list-style-type: none"> • (i) Provision for electric vehicle recharging points or dwellings to be made 'EV-ready' so a power connection is available to install an EV charge point as required; • (ii) Details of any air source heat pumps (if proposed) • (iii) Specification of the approved solar panels • (iv) Use of low NOx boilers (if proposed) (to have a maximum dry NOx emissions rate of 40mg/kWh); <p>The measures shall be installed in full accordance with the approved details prior to first occupation of the development and thereafter shall be retained and shall not be removed or altered in any way.</p>
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Reason	<i>To mitigate the impacts of development on air quality during and post construction in accordance with Policies DS3 and EM7 of the Coventry Local Plan 2016.</i>
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18.	<p>I. Prior to the commencement of the development hereby permitted, a scheme shall be submitted to, and approved in writing by, the Local Planning Authority (LPA) for the provision of a Sustainable urban Drainage System (SuDS) in accordance with the latest available design guidance. The submission shall include all relevant details and calculations to enable a full evaluation to be undertaken, and clear and accountable consideration shall be given to the following features:-</p> <ul style="list-style-type: none"> • General below ground attenuation, aimed solely at managing the quantity of water on site (Note: preference should be given to localised cellular storage unless there is no possible mechanism for doing so). • Water quality control medium(s) such as permeable paving, filter drains, rain gardens, ponds or swales aimed at improving the quality of water passing through the system either above or below ground. • The use of infiltration drainage either as above ground (open air) or below ground (buried) – to be accompanied by a full intrusive Geotechnical Site Investigation as detailed below. <p>All in accordance with Coventry City Council’s Supplementary Planning Document “Delivering a more Sustainable City”.</p> <p>ii. The stormwater discharge rates from the development shall be managed in order to reduce flood risk to surrounding sites, downstream areas or the wider environment by means of a Date: 25.01.24 suitable vortex flow control mechanism (or mechanisms) limiting the total site discharge offsite to Qbar greenfield rates or 3</p>
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	<p>l/s, whichever is greater. The discharge rates for brownfield sites shall be considered as greenfield in accordance with the CCC SFRA.</p> <p>iii. A detailed strategy document must be submitted to, and approved in writing by, the LPA for the long-term inspection and maintenance of the SuDS and other surface water drainage elements on site. It should also mention any notable Health and Safety or specialist training, and special equipment required as part of the routine maintenance.</p> <p>iv. An appropriately scaled intrusive ground investigation report must be provided to establish the depth and type of strata, including percolation results in accordance with BRE 365 and identifying the presence and risk associated with migrant or soluble contaminants. Please provide evidence of existing groundwater levels and seasonal variation, in order to inform the drainage design.</p> <p>v. Prior to the commencement of any works on site, provisions must be made for the drainage of the site to ensure there are no temporary increases in flood risk, on or off site, during the construction phase, particularly with respect to the planned demolition/construction works and the deposition of silts and cementitious materials. This should be covered under environmental risks in the Site Specific CEMP.</p> <p>vi. Where new or redevelopment site levels result in the severance, diversion or reception of natural (or engineered) land drainage flow, the developer shall maintain existing flow routes (where there are no flood risk or safety implications) or intercept these flows and discharge these by a method approved by the Local Planning Authority.</p> <p>vii. Foul drainage plans</p>
Reason	<p><i>To ensure that the development does not give rise to an increase flood risk on or off site over the lifetime of the development and provides suitable on site SUD's in accordance with Policies EM4 and EM5 of the adopted Local Plan (2016).</i></p>
19.	<p>Notwithstanding the submitted details, no demolition/development shall take place/commence until an updated written scheme of investigation (WSI) has been submitted to and approved by the local planning authority in writing for a programme of archaeological evaluation and excavation and future archaeological management plan. For land that is included within the WSI, no demolition/development shall take place other than in accordance with the agreed archaeological management plan, which shall include areas of preservation in situ, the statement of significance and research objectives and public engagement/open days; and:</p> <ul style="list-style-type: none"> • The programme and methodology of site investigation and recording and the nomination of a competent person(s) or organisation to undertake the agreed works • The programme for post-investigation assessment and subsequent analysis, publication & dissemination and deposition of resulting material. This part of the condition shall not be discharged until these elements have been fulfilled in accordance with the programme set out in the WSI.

Reason	<i>To ensure that the development pays due regard to the significance of heritage assets in accordance with Policy HE2 of the adopted Local Plan (2016) and Paragraph 200 of the NPPF (2023).</i>
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CONDITIONS / REASONS - PL/2023/0002495/LBC

1.	The works hereby approved shall begin not later than 3 years from the date of this consent.
Reason	<i>To conform with Section 18 of the Planning (Listed Buildings and Conservation Areas) Act 1990 (as amended)</i>
2.	Prior to their incorporation into the development hereby permitted, sample details of all facing and roofing materials inclusive of windows, doors, rainwater goods, entrance gates, canopy timber detail, shall be submitted to and approved in writing by the Local Planning Authority. These details shall be installed only in full accordance with the approved details prior to the first occupation of the development and thereafter shall be retained and shall not be removed or altered in any way.
Reason	<i>To ensure that the proposed development has a satisfactory external appearance in the interests of the visual amenities of the area in accordance with Policy DE1 of the Coventry Local Plan 2016.</i>
3.	<p>The development hereby permitted shall be carried out in accordance with the following approved plans:</p> <ul style="list-style-type: none"> • Proposed Compliance Plan DWG PL-14. Rev A • Proposed Site Floor Plan DWG PL-13. Rev A • Planning Statement • Archaeological Desk Based Assessment • Transport Scoping Report • Structural Inspection of the Building • Heritage Impact Assessment • Plot 4 - Proposed Floor Plans and Elevations DWG PL-25 • Proposed Site Section DWG PL-28. Rev A • Drainage Strategy • Landscape and Ecological Enhancement Scheme DWG 1241_1. Rev A • Proposed Amenity Assessment DWG PL-16. Rev A • Proposed Building Heights Plan DWG PL-17. Rev A • Plot 1 Proposed Ground Floor and First Floor Plan DWG PL-20 • Plot 1 Proposed Elevations DWG PL-21 • Plot 2 Proposed Ground Floor and First Floor Plan DWG PL-22 • Plot 1 Proposed Elevations DWG PL-23 • Plot 3 Proposed Floor Plans and Elevations DWG PL-24 • Proposed Site Block Plan DWG PL-11. Rev A • Proposed Site Plan - Demolition DWG PL-12 • Phase 1 Preliminary Ecological Appraisal • BNG Calculation • Proposed Entrance Gates DWG PL-18

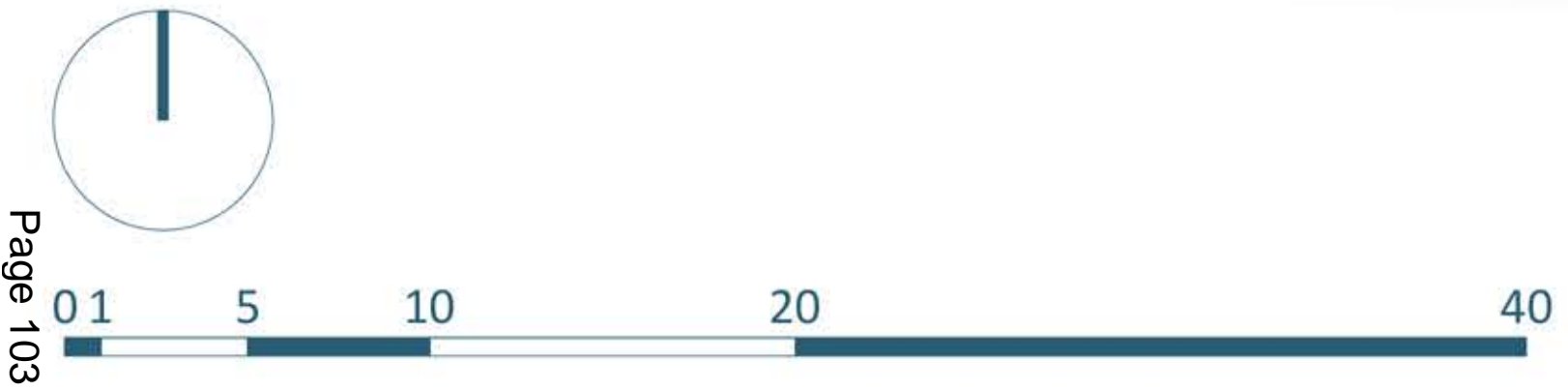
	<ul style="list-style-type: none"> • Proposed Site Plan DWG PL-10. Rev A • Proposed Site Section DWG PL-27. Rev A • Tree Report N 055. Rev A • Site Location Plan
Reason	<i>For the avoidance of doubt and in the interests of proper planning.</i>
4.	<p>Notwithstanding the submitted details, no demolition/development shall take place/commence until an updated written scheme of investigation (WSI) has been submitted to and approved by the local planning authority in writing for a programme of archaeological evaluation and excavation and future archaeological management plan. For land that is included within the WSI, no demolition/development shall take place other than in accordance with the agreed archaeological management plan, which shall include areas of preservation in situ, the statement of significance and research objectives and public engagement/open days; and:</p> <ul style="list-style-type: none"> • The programme and methodology of site investigation and recording and the nomination of a competent person(s) or organisation to undertake the agreed works • The programme for post-investigation assessment and subsequent analysis, publication & dissemination and deposition of resulting material. This part of the condition shall not be discharged until these elements have been fulfilled in accordance with the programme set out in the WSI'
Reason	<i>To ensure that the development pays due regard to the significance of heritage assets in accordance with Policy HE2 of the adopted Local Plan (2016) and Paragraph 200 of the NPPF (2023).</i>

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Shelter

LEAMINGTON ROAD



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Revisions
 A Revised in Line With Tree Survey Changes 08/02/2024

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Details
 Client O'Flanagan Homes
 Job Title Stivichall Manor, Leamington Rd, Cov.
 Job Type New Residential Development
 Drawing Title Existing Site Plan
 Job Number 272
 Drawing Number PL-02A
 Scale 1:200 A1
 Status PLANNING



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Revisions
 A Revised in Line With Tree Survey Changes 08/02/2024

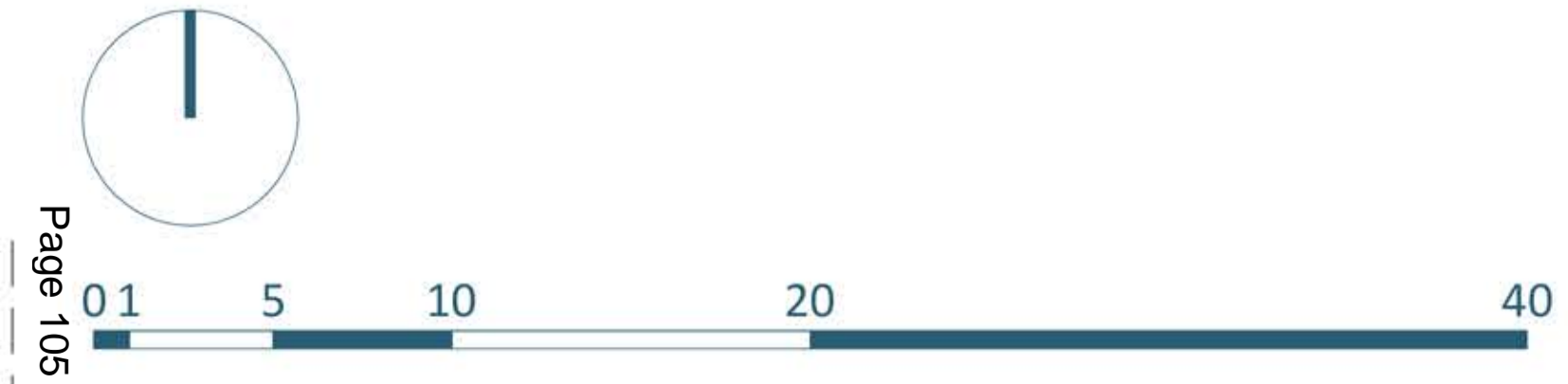
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Details
 Client O'Flanagan Homes
 Job Title Stivichall Manor, Leamington Rd, Cov.
 Job Type New Residential Development
 Drawing Title Proposed Site Plan
 Job Number 272
 Drawing Number PL-10A
 Scale 1:200 A1
 Status PLANNING

O'FLANAGAN HOMES
 OPENING NEW DOORS



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Revisions
 A Revised in Line With Tree Survey Changes 08/02/2024

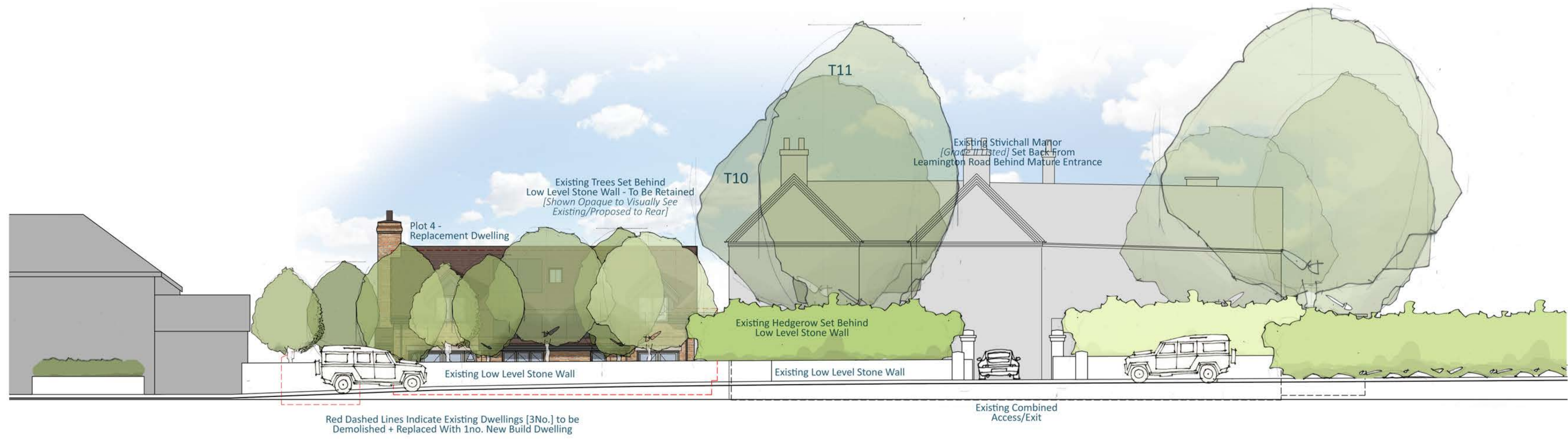
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Details
 Client O'Flanagan Homes
 Job Title Stivichall Manor, Leamington Rd, Cov.
 Job Type New Residential Development
 Drawing Title Proposed Site Plan - Demolition
 Job Number 272
 Drawing Number PL-12A
 Scale 1:200 A1
 Status PLANNING





Proposed Site Section [Rear Facing Towards Stivichall Manor]
Scale 1:100



Proposed Street Scene
Scale 1:100



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Revisions
 A Revised in Line With Tree Survey Changes 08/02/2024

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Details
 Client O'Flanagan Homes
 Job Title Stivichall Manor, Leamington Rd, Cov. New Residential Development
 Job Number PL-26A
 Drawing Number 1:100 A1
 Scale PLANNING
 Status



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Proposed Site Section [Through Rear of Plots 1+2]
Scale 1:100



Proposed Site Section [Through Rear of Plot 3 + Stivichall Manor]
Scale 1:100

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Revisions

Rev	Description

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Details

Client	O'Flanagan Homes
Job Title	Stivichall Manor, Leamington Rd, Cov.
Job Type	New Residential Development
Drawing Title	Proposed Street Scene + Site Section
Job Number	272
Drawing Number	PL-26
Scale	1:100 A1
Status	PLANNING



Proposed Front Elevation
Scale 1:50



Proposed Side Elevation
Scale 1:50



Proposed Rear Elevation
Scale 1:50



Proposed Side Elevation
Scale 1:50



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Revisions

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Details

Client	O'Flanagan Homes
Job Title	Stivichall Manor, Leamington Rd, Cov.
Job Type	New Residential Development
Drawing Title	Plot 2 - Proposed Elevations
Job Number	272
Drawing Number	PL-23
Scale	1:50 A1
Status	PLANNING



Proposed Ground Floor Plan
Scale 1:50



Proposed Rear Elevation
Scale 1:100



Proposed Side Elevation
Scale 1:100



Proposed Front Elevation
Scale 1:50



Proposed Side Elevation
Scale 1:100



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Revisions

No.	Description

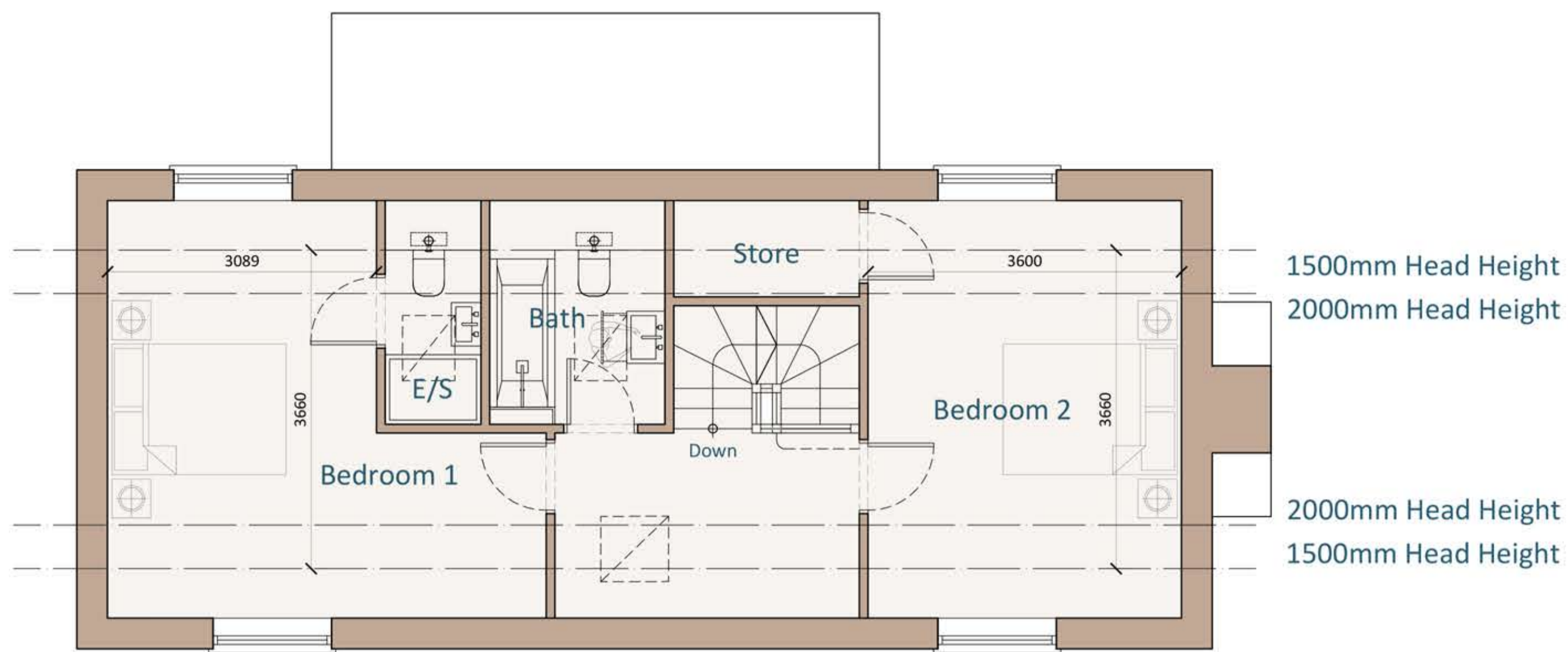
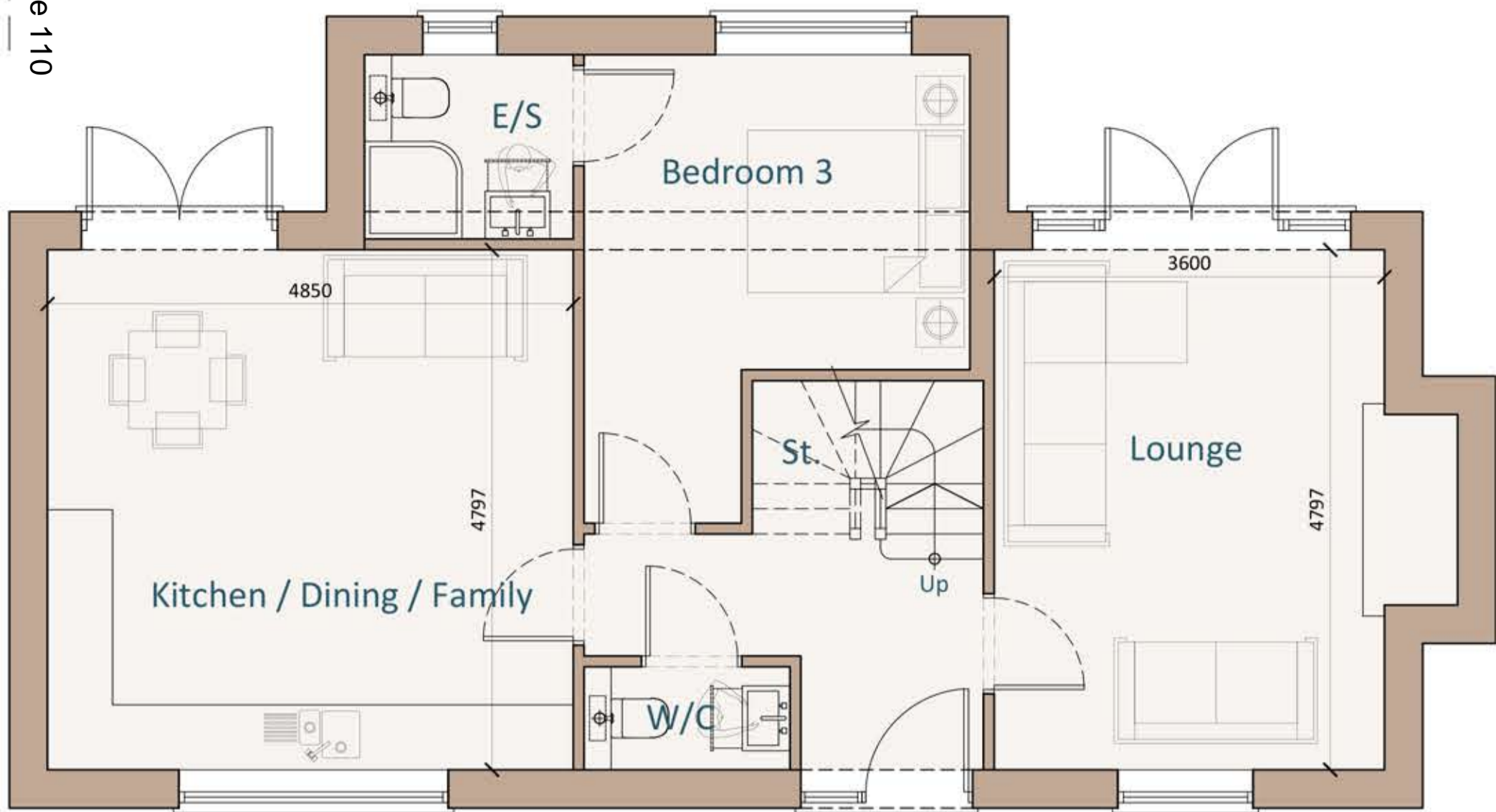
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Details

Client	O'Flanagan Homes
Job Title	Stivichall Manor, Leamington Rd, Cov.
Job Type	New Residential Development
Drawing Title	Plot 3 - Proposed Plan + Elevations
Job Number	272
Drawing Number	PL-24
Scale	1:50 + 1:100 A1
Status	PLANNING



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Revisions

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Details
Client O'Flanagan Homes
Job Title Stivichall Manor, Leamington Rd, Cov.
Job Type New Residential Development
Drawing Title Plot 4 - Proposed Plans + Elevations

Job Number 272
Drawing Number PL-25
Scale 1:50 A1
Status PLANNING

BRIEF
TO PROVIDE A SAFE AND PLEASANT ENVIRONMENT FOR RESIDENTS AND MITIGATION FOR LOSS OF HABITAT FOR WILDLIFE

CONSTRAINTS AND OPPORTUNITIES

- MATURE TREES AND HEDGEROWS TO BE RETAINED WHERE POSSIBLE
- URBAN SETTING
- LOSS OF IMPROVED GRASSLAND TO BE MITIGATED BY ENHANCEMENTS OF RETAINED SECTION
- NEW TREE PLANTING WILL DIVERSIFY AGE STRUCTURE AND PROVIDE FUTURE DEADWOOD FOR SAPROPHYTIC SPECIES

PROTECTED/VULNERABLE SPECIES/HABITATS ON SITE OR POTENTIALLY IMPACTED OR PROVIDED FOR WITHIN THE NEW LANDSCAPE

BAT SPECIES
HEDGEHOG
POLLINATORS
NESTING BIRDS

SOLUTION
The gardens are laid out to amenity space bounded with aesthetically pleasing trees, hedges and shrub planting from a palette of locally native species with additional perfect for pollinators, listed shrubs.
The periphery of the site is hedged with mixed native species and suitably spaced canopy trees. Ground flora is provided either as meadow, woodland or hedgerow native mixes according to placement. This gives a range of opportunities for bees, butterflies, moths and other nectar feeding species. Buffer areas are created with canopy understorey and groundcover using suitably chosen and spaced woody species. Native hedgerow locations give both a barrier to people and permeability for wildlife and improving connectivity through the site.
The internal fencing has hedgehog passing points at key locations.
A number of tree mounted and integral roosting bat boxes, various bird nest boxes are affixed to the new dwellings and existing trees in suitable positions. Log piles using wood from the site are placed in locations within the green infrastructure areas. These will provide potential habitat for saprophytic species, their predators, hedgehog and amphibians

BRITISH FLORA BF59: COUNTRY MEADOW MIX

If you are trying to create an old English meadow then this general purpose perennial meadow mix will establish itself and come to full maturity over a 2-3 year period. This is a simple yet visually pleasing wildflower meadow seed mixture containing the more common native wildflower species along with (non-competing) companion grasses. It can be used for amenity areas, large gardens and environmentally sensitive landscaping. If you want a more colourful instant impact then consider our Pure Flower Seed Mixtures or Urban Wildflower Mixture.

Sowing Rate: 5kg/m²
Contains: Wildflowers 20% (5 species), Grasses 80% (5 species)

N.B. All seeds specified in this mixture are subject to availability at the time of purchase.

The Mix contains the following species:

Wildflowers:

- 4% Achillea millefolium - (Yarrow)
- 6% Centaurea nigra - (Black Knavehead)
- 4% Dianthus barbatus - (Wild Carnation)
- 12% Galium aparine - (Lamb's Ears)
- 4% Hypericum perforatum - (St. John's Wort)
- 7% Leucanthemum vulgare - (Oxeye Daisy)
- 4% Lotus corniculatus - (Birdfoot Trefoil)
- 4% Malva moschata - (Musk Malva)
- 5% Medicago lupulina - (Black Medick)
- 8% Plantago lanceolata - (Ribwort Plantain)
- 4% Ranunculus acris - (Meadow Buttercup)
- 2% Ranunculus abortivus - (Small Ranunculus)
- 12% Sanguisorba officinalis - (Great Burnet)
- 4% Silene alba - (White Campion)
- 3% Viola tricolor ssp. arvensis (Common Violet)

Grasses:

- 25% Festuca rubra ssp. commutata - (Sheep's Fescue)
- 5% Agrostis capillaris - (Common Hair)
- 10% Cynosurus cristatus - (Crested Dogtail)
- 30% Festuca ovina - (Sheep's Fescue)
- 25% Festuca rubra ssp. strobilata - (Slender CRF)

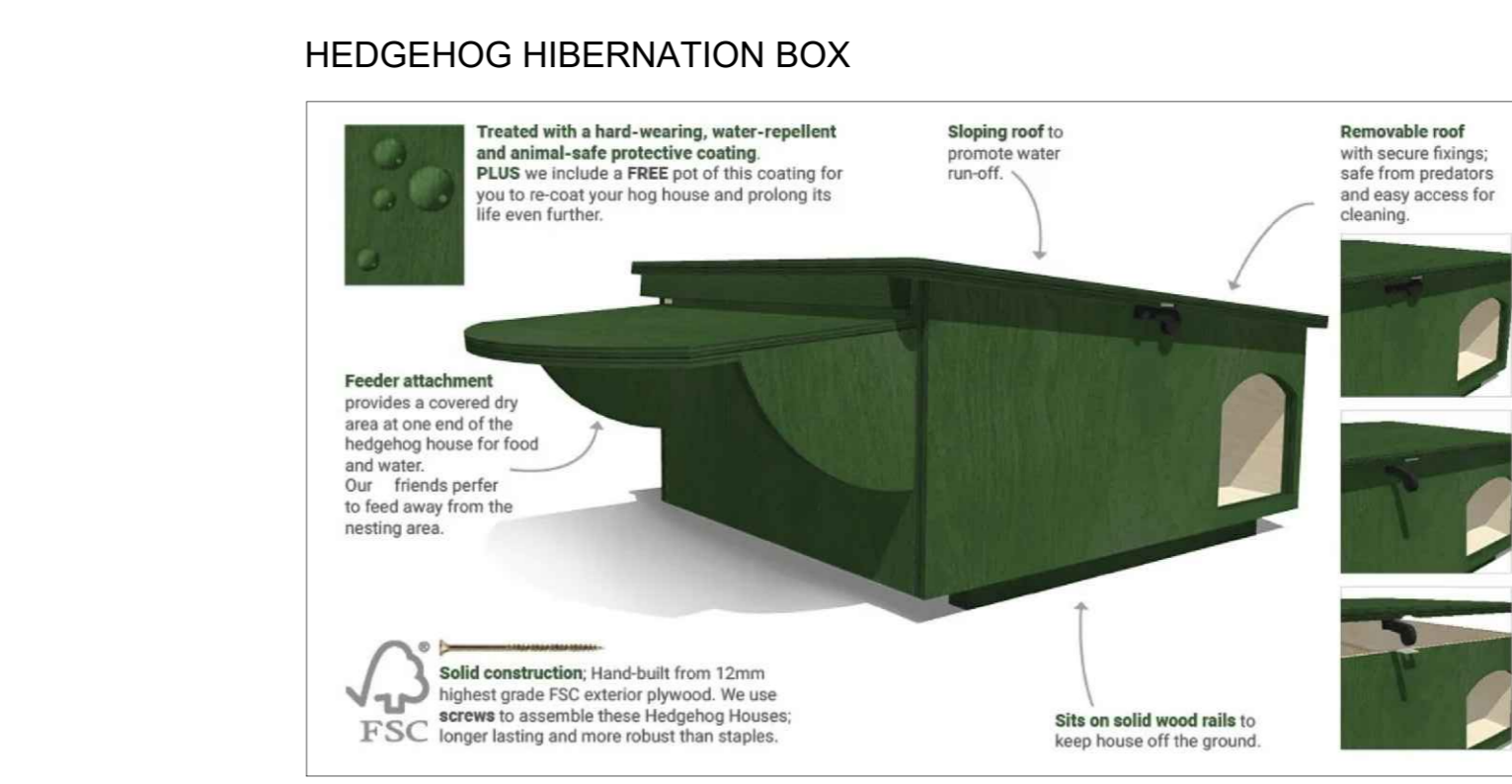
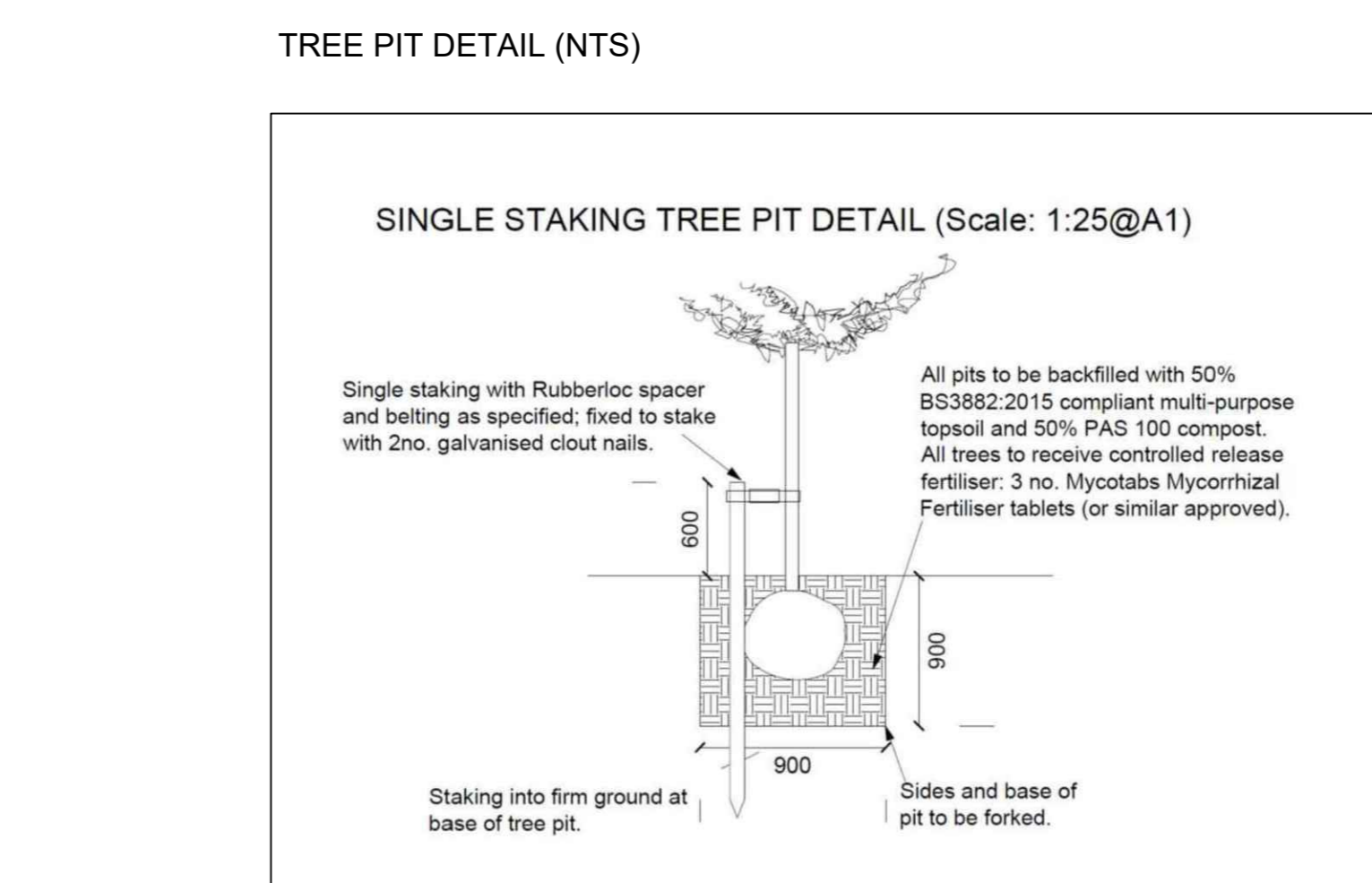
Notes:

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DEFRA METRIC v4.0 BIA CALCULATOR 1241.3 HEADLINE RESULT

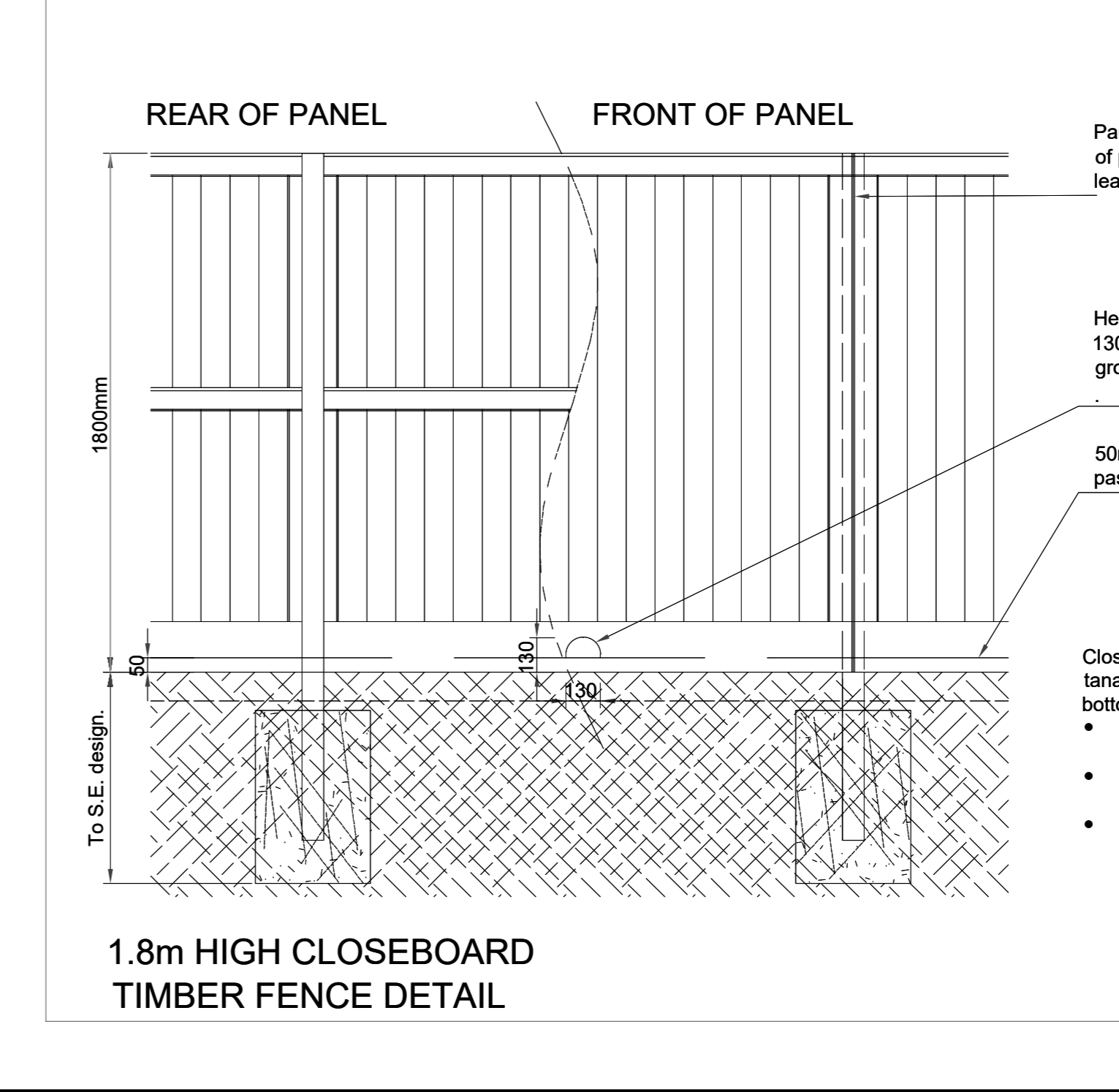
Category	On-site baseline	On-site post-intervention	On-site net change
On-site baseline	0.14	0.14	0.00
On-site post-intervention	0.14	0.14	0.00
On-site net change	0.00	0.00	0.00%
On-site baseline	0.14	0.14	0.00
On-site post-intervention	0.14	0.14	0.00
On-site net change	0.00	0.00	0.00%
Combined net unit change	0.00	0.00	0.00%
Special rate multiplier (SRM) deductions	0.00	0.00	0.00%
FINAL RESULTS			
Total net unit change	0.00	0.00	0.00%
Total net % change	0.00%	0.00%	0.00%
Trading rules satisfied?	Yes	Yes	Yes



- KEY**
- BUILDING
 - RETAINED TREES SHOWING CANOPY AND RPA
 - NEW TREES
 - EXISTING HEDGE
 - NEW HEDGE
 - GROUND COVER/SHRUB MIX
 - TURF OVER SOWN WITH CLOVERS AND TREFOL
 - FLOWER RICH GRASS
 - TARMACADAM
 - TOBERMORE-PEDESTA PAVING BLOCKS-BRACKEN
 - TOBERMORE-TEXTURED FLAGS
- 1.8m CLOSED BOARD FENCING
- POTENTIAL HEDGEHOG ROUTE
- POTENTIAL BAT ROUTE
- H BILBAO WOODCRETE HOLE NEST BOX
 - O VIVARO PRO WOODSTONE DOUBLE SPARROW BOX INTEGRATED INTO EXTERNAL WALL BELOW EAVES MIN 3m ABOVE GROUND LEVEL
 - Sp VIVARO PRO WOODSTONE BUILD-IN OPEN NEST BOX
 - Sw VIVARO PRO VISIBLE BUILD IN SWIFT BOX UK BRICK SIZE INTEGRATED INTO EXTERNAL WALL BELOW EAVES MIN 3m ABOVE GROUND LEVEL
 - K KENT BAT BOX AFFIXED TO TREE
 - V VIVARO INTEGRATED BAT BOX PLACED >4m ABOVE GROUND AND AWAY FROM LIGHT SOURCES
 - LOG PILE MADE FROM MATERIAL ARISING FROM TREE WORKS WITH HEDGEHOG HIBERNATION BOX

PLANTING PALETTE

Abb	Name
H.aq	Rex aquifolium
Herbaceous	
Abb	Name
Dsch. fl.	Deschampsia flexuosa
Fs. ov.	Festuca ovina
Shrub	
Abb	Name
Bbr. dr.	Berberis darwinii
Chom. sp.	Chaenactis speciosa
Colu. vl.	Calluna vulgaris
Cms. al. A.	Cornus alba 'Aurea'
Cms. al. S.	Cornus alba 'Sibirica'
Cms. al. V.	Cornus alba 'Variegata'
Cms. al. V.	Cornus alba 'Variegata'
Cms. an.	Cornus sanguinea
Cms. an.	Cornus sanguinea
Cms. an. MFF.	Cornus sanguinea 'Mid-Winter Fire'
Cms. WD.	Cornus 'White Gold'
Cry. av.	Corylus avellana
Cry. av.	Corylus avellana
Cry. av.	Corylus avellana
Cry. mx. P.	Corylus maxima 'Purpurea'
Cry. mx. P.	Corylus maxima 'Purpurea'
Cyt. scop.	Cytisus scoparius
Ery. fr. RC.	Eryngium yuccifolium 'Red Cascade'
Ery. fr. EG.	Eryngium fortunei 'Emerald Gold'
Ery. fr. EG.	Eryngium fortunei 'Emerald 'N' Gold'
Hb. gl.	Hebe obtusifolia
H. sq. HNS.	Rex aquifolium 'Horseshoe New Silver'
Lig. vl.	Ligustrum vulgare
Lig. vl.	Ligustrum vulgare
Lig. vl.	Ligustrum vulgare
Lig. vl.	Ligustrum vulgare
Lnc. nt. BG.	Lonicera nitida 'Baggesen's Gold'
Lnc. nt. M.	Lonicera nitida 'Majestica'
Lnc. nt.	Lonicera nitida
Mh. x. md. C.	Mahonia x media 'Charity'
Prns. sp.	Prunus spinosa
Pyr. coc. L.	Pyracantha coccinea 'Lalande'
Ra. ca.	Rosa canina
Ra. rb.	Rosa rubiginosa
Rac. oc.	Ruscus aculeatus
Ru. tr.	Rubus fruticosus
Sk. p. R.	Skimmia japonica 'Rubra'
Smb. ng. BB.	Sambucus nigra 'Black Beauty'
Src. bk.	Sarcococca hookeriana alba
Ulx. er.	Ulex europaeus
Ulx. gl.	Ulex galii
Ulx. me.	Ulex minor



REV: DESCRIPTION: BY: DATE:

STATUS: **PLANNING ISSUE**

DJOGS Limited
79 Green Lane, Pelsall
Walsall WS3 4PD
01922 442665
www.djogs.co.uk

CLIENT: James O'Flanagan Ltd

LANDSCAPE ARCHITECT: **DJOGS Ltd**
79 Green Lane
Pelsall
Walsall WS3 4PD

SITE: Land at Stivichall Manor
Leamington Rd, Coventry

TITLE: Landscape and Ecological Enhancement Scheme

SCALE AT A1: 1:200 DATE: 12/11/2023 DRAWN: CJ CHECKED: DJ

PROJECT NO: 1241 DRAWING NO: 1 REVISION: 0

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Planning Committee Report	
Planning Ref:	PL/2023/0001888/RESM
Site:	Land between Bennetts Road and Fivefield Road, Keresley, Coventry.
Ward:	Bablake.
Proposal:	Submission of Reserved Matters for 290no. dwellings for all matters outstanding pursuant to permission OUT/2022/0712 for the demolition of all existing buildings (save for Poddy Cottage) and the erection of up to 290 dwellings and creation of associated vehicular accesses to Bennetts Road and Fivefield Road, pedestrian/cycle accesses, diversion of public rights of way, highway improvements, parking, landscaping, drainage features, open space, and associated infrastructure including substation (vehicular access points into the site having been approved at outline stage). (Outline application was accompanied by an Environmental Statement).
Case Officer:	Emma Spandley

SUMMARY

The application relates to a parcel of land that is contained within the housing allocation H2:1, called Keresley SUE. The allocation is for a minimum of 3,100 dwellings.

Application OUT/2022/0712 was submitted; heard at the 23rd February 2023 Planning Committee meeting and subsequently approved the demolition of all existing buildings (save for Poddy Cottage) and the erection of up to 290 dwellings and creation of associated vehicular accesses to Bennetts Road and Fivefield Road, pedestrian/cycle accesses, diversion of public rights of way, highway improvements, parking, landscaping, drainage features, open space, and associated infrastructure including substation.

The redline site area for application OUT/2022/0712 extended to some 13.04ha. The current application seeks permission for the outstanding reserved matters, relating to appearance, landscaping, layout and scale of the proposed house, approved in principle under the outline permission.

BACKGROUND

The site was previously designated Green Belt land; however, it was removed from the Green Belt following independent examination by an Inspector at Local Plan Examination in Public and allocated for housing as a Sustainable Urban Extension (SUE). The specific housing requirements are allocated under H2:1.

The housing numbers contained with the allocation are considered to be a minimum, Policy DS1 of the Coventry Local Plan sets out the overall development needs that the plan is required to deliver and states at paragraph one: -

*“Over the Plan period significant levels of housing, employment and retail development will be planned for and provided along with supporting infrastructure and environmental enhancements: -
a) A minimum of 24,600 additional homes”*

KEY FACTS

Reason for report to committee:	Over five objections against Officer recommendation
Current use of site:	Agricultural
Proposed use of site:	Residential

RECOMMENDATION

Planning Committee are recommended to grant planning permission, subject to the conditions listed in the report; and

Delegate authority to the Strategic Lead Planning, in consultation with the chair of Planning Committee, to agree any amendments to these conditions, which are considered necessary.

REASON FOR DECISION

- The proposal is consistent with an allocation in the development plan and is acceptable in principle.
- The proposal will not adversely impact upon highway safety, air quality, drainage/flooding, ancient woodland or ecology.
- The proposal will provide for a high-quality residential environment.
- The proposal accords with Policies DS1, DS3, DS4, H1, H2, H3, H4: H6, H9, GE1, GE3, GE4, DE1, HE2, JE7, HW1, AC1, AC2, AC3, AC4, AC5, EM1, EM2, EM3, EM4, EM5, EM6, EM7 and IM1 of the Coventry Local Plan 2016, together with the aims of the NPPF.

APPLICATION PROPOSAL

The application seeks approval for the appearance, landscaping, layout and scale of 290no dwellings approved under the outline permission, OUT/2022/0712.

OUT/2022/0712 was approved in outline form with the access points subject to conditions.

Condition No.1 of the outline planning permission (OUT/2022/0712) requires the submission of the remaining reserved matters details for approval in respect of appearance, layout, scale, landscaping.

The outline planning permission approved two parameter plans to establish the parameters for the development and to inform the subsequent reserved matters submissions.

Compliance with the parameter plans and the other specific requirements are secured by Condition No.4 and No.5 of the outline planning permission.

Further requirements are set out with the S106 agreement.

The proposed application proposes the erection of 290no. houses.

The following table sets out the proposed bedroom numbers.

1 Bedroom	2 Bedroom	3 Bedroom	4 Bedroom	Total
9no. dwellings	90no. dwellings	119no. dwellings	72no dwelling	290

Split as follows between private and affordable housing.

Private Housing

1 Bedroom	2 Bedroom	3 Bedroom	4 Bedroom	Total
0	60no. dwellings	95no. dwellings	62no dwelling	217

Affordable Housing

1 Bedroom	2 Bedroom	3 Bedroom	4 Bedroom	Total
9no. dwellings	30no. dwellings	24no. dwellings	10no dwelling	73

SITE DESCRIPTION

The site covers an area of approximately 13.04ha and predominantly comprises undeveloped open land used for agriculture.

The site is located on the northwest side of Bennetts Road; to the south of Fivefield Road. The access to the site will be taken from the west side of Bennetts Road, in between the Keresley United Reformed Church to the south and Richmond House Bennetts Road to the north. From the east side of Fivefield Road.

The existing site has an area in to the east used as allotment gardens. This area will provide the access into the site.

To the north of the site lies the Colliery Club sports grounds, to the northeast of the site and east of the Colliery Club sports grounds is Bunson's Wood.

Bunson's Wood is:

- An Ancient Woodland (Ancient and Semi Natural Woodland).
- A Local Wildlife Site. It was Designated as a Local Wildlife Site in 1989 on the basis of the high nature conservation value attached to semi-natural ancient woodland.
- Protected by a Tree Preservation Order (TPO), dated March 2022 – City of Coventry (Bunson's Wood No.1) Tree Protection Order 2022, and
- An Archaeology Constraints Area (ACA), comprising the following two areas:
 - Bunson's Wood, and
 - Possible Medieval ridge and furrow earthworks.

From Bunson's Wood to the northeast of the site is an agricultural field; to the east and southeast is Fivefield Road. Along Fivefield Road, to the southeast of the site are

the properties No.44 – No56 (evens), with the Locally Listed Ravenswood House (formerly Keresley Villas) to the southwest of the site, on the west side of Bennetts Road.

The topography of the site gently slopes up from central areas to the west and east and down from the centre to the south.

The application site forms a parcel of land allocated within the Keresley Sustainable Urban Extension (SUE).

PLANNING HISTORY

There have been no applications relating to the actual parcel of land, however, there are a range of applications that have been approved or are pending which all relate to the Keresley SUE. The following are the most relevant:-

Application Number	Description of Development	Decision and Date
<u>Taylor Wimpey</u> OUT/2014/2282	Outline application for the erection of up to 800 dwellings, with associated Local Centre comprising Convenience Store (Class A1) Retail/Commercial Units (Class A1, A2, A3, A5 and/or D1); a Primary School; Public Open Space (including equipped play area); allotments; nature conservation area; and landscaping; with all matters reserved except for means of vehicular access to the site from Tamworth Road and Bennetts Road South.	Approved 12/02/2018
RMM/2019/1030	Submission of reserved matters (layout, internal access arrangements, scale, appearance and landscape details) for Phase 1 comprising of 322 dwellings and details of green infrastructure strategy for all phases (excluding third party land) and a temporary construction access pursuant to OUT/2014/2282 for up to 800 dwellings, local centre, primary school, public open space (all matters reserved except vehicular access from Tamworth Road and Bennetts Road South). The outline application was an EIA application and an Environmental Statement	Approved 20/11/2019

	was submitted with it.	
S73/2020/0285	Variation of condition 8 (to allow one retail unit within the local centre to have floorspace up to 500 sq m) imposed upon outline permission OUT/2014/2282 for the erection of up to 800 dwellings, with associated Local Centre comprising Convenience Store (Class A1) Retail/Commercial Units (Class A1, A2, A3, A5 and/or D1); a Primary School; Public Open Space (including equipped play area); allotments; nature conservation area; and landscaping; The outline application was accompanied by an Environmental Statement	Approved 22/04/2020
RM/2020/2399	Submission of reserved matters (layout, internal access arrangements, scale, appearance and landscaping) for Phases 2A and 2B comprising 394 dwellings, pursuant to outline permission OUT/2014/2282. The outline application was accompanied by an Environmental Statement.	Approved 29/11/2021
RMM/2021/2514	Submission of reserved Matters in accordance with condition 1 for layout, internal access arrangements, scale, appearance and landscape details for local centre, comprising of 1,505sqm across seven units pursuant to planning permission S73/2020/0285 granted on 22nd April 2020 for Variation of condition 8 (to allow one retail unit within the local centre to have floorspace up to 500 sq m) imposed upon outline permission OUT/2014/2282 for the erection of up to 800 dwellings, with associated Local Centre comprising Convenience Store (Class A1) Retail/Commercial Units (Class A1, A2, A3, A5 and/or D1); a Primary School; Public Open Space (including equipped play area); allotments; nature conservation area; and landscaping; The outline application was accompanied by an	Approved 26/10/2023

	Environmental Statement.	
S73M/2021/2515	Variation of condition No. 56 (Hours of Delivery) and removal of condition No. 31 (Requirement for Green Roofs) imposed on planning permission S73/2020/0285 - Variation of condition 8 (to allow one retail unit within the local centre to have floorspace up to 500 sq m) imposed upon outline permission OUT/2014/2282 for the erection of up to 800 dwellings, with associated Local Centre comprising Convenience Store (Class A1) Retail/Commercial Units (Class A1, A2, A3, A5 and/or D1); a Primary School; Public Open Space (including equipped play area); allotments; nature conservation area; and landscaping; The outline application was accompanied by an Environmental Statement, granted on 22nd April 2020	Approved 24/10/2023
<u>Bellway</u>		
OUT/2019/0022	Outline application for the demolition of all existing buildings and the erection of up to 550 dwellings and creation of associated vehicular accesses to Tamworth Road and Fivefield Road, pedestrian/cycle and emergency accesses, diversion of public rights of way, highway improvements to Fivefield Road, parking, landscaping, drainage features, open space and associated infrastructure, with all matters to be reserved except access points into the site (in part).	Approved 07/02/2022
RMM/2022/0633	Submission of Reserved Matters for 284 dwellings off Fivefield Road, for all matters outstanding pursuant to permission OUT/2019/0022 granted on 07/02/2022 for the demolition of all existing buildings and the erection of up to 550 dwellings, and creation of associated vehicular accesses to Tamworth Road and Fivefield Road, pedestrian/cycle and emergency accesses, highway	Pending

	improvements to Fivefield Road, parking, landscaping, drainage features, open space and associated infrastructure, with all matters to be reserved except access points into the site	
RMM/2022/0636	Submission of Reserved Matters for 37 dwellings off Keresley Link Road, for all matters outstanding pursuant to permission OUT/2019/0022 granted on 7th February 2022 for the demolition of all existing buildings and the erection of up to 550 dwellings, and creation of associated vehicular accesses to Tamworth Road and Fivefield Road, pedestrian/cycle and emergency accesses, highway improvements to Fivefield Road, parking, landscaping, drainage features, open space and associated infrastructure, with all matters to be reserved except access points into the site.	Approved 27/10/2023
RMM/2022/0678	Submission of Reserved Matters for 205 dwellings off Tamworth Road, for all matters outstanding pursuant to permission OUT/2019/0022 granted on 7th February 2022 for the demolition of all existing buildings and the erection of up to 550 dwellings, and creation of associated vehicular accesses to Tamworth Road and Fivefield Road, pedestrian/cycle and emergency accesses, highway improvements to Fivefield Road, parking, landscaping, drainage features, open space and associated infrastructure, with all matters to be reserved except access points into the site	Pending
RMM/2022/0679	Submission of Reserved Matters for 18 dwellings off Tamworth Road, for all matters outstanding pursuant to permission OUT/2019/0022 granted on 7th February 2022 for the demolition of all existing buildings and the erection of up to 550 dwellings, and creation of	Pending

	associated vehicular accesses to Tamworth Road and Fivefield Road, pedestrian/cycle and emergency accesses, highway improvements to Fivefield Road, parking, landscaping, drainage features, open space and associated infrastructure, with all matters to be reserved except access points into the site	
RMM/2022/0680	Submission of Reserved Matters for the Ancient Woodland Buffer off Tamworth Road, for all matters outstanding pursuant to permission OUT/2019/0022 granted on 7th February 2022 for the demolition of all existing buildings and the erection of up to 550 dwellings, and creation of associated vehicular accesses to Tamworth Road and Fivefield Road, pedestrian/cycle and emergency accesses, highway improvements to Fivefield Road, parking, landscaping, drainage features, open space and associated infrastructure, with all matters to be reserved except access points into the site.	Approved 03/08/2023
<u>Thompsons Farm</u>		
OUT/2019/0484	Outline permission for the erection of up to 500 residential dwellings with all matters reserved with the exception of access and comprising of: The demolition of Thompsons Cottage and associated buildings; Provision of green infrastructure including strategic open space, sustainable urban drainage, green networks, play space and associated structural and general landscaping; A vehicular access point and emergency access point onto Bennetts Road North; Network of pedestrian and cycle routes; and All associated infrastructure and enabling works	Approved 05/07/2022
FUL/2022/1981	Installation and formation of highway and drainage infrastructure works pursuant to OUT/2019/0484 granted	Approved 5 th October Planning

	on 05/07/2022 for erection of up to 500 residential dwellings with all matters reserved with the exception of access and comprising of: The demolition of Thompsons Cottage and associated buildings; Provision of green infrastructure including strategic open space, sustainable urban drainage, green networks, play space and associated structural and general landscaping; A vehicular access point and emergency access point onto Bennetts Road North; Network of pedestrian and cycle routes; and All associated infrastructure and enabling works.	Committee. Decision Notice issued 06/10/23
RMM/2022/1982	Submission of reserved matters (appearance, landscaping, layout and scale) for the erection of 329no. dwellings and associated infrastructure pursuant to planning permission OUT/2019/0484 granted on 05/07/2022 for erection of up to 500 residential dwellings with all matters reserved with the exception of access and comprising of: The demolition of Thompsons Cottage and associated buildings; Provision of green infrastructure including strategic open space, sustainable urban drainage, green networks, play space and associated structural and general landscaping; A vehicular access point and emergency access point onto Bennetts Road North; Network of pedestrian and cycle routes; and All associated infrastructure and enabling works.	Approved 14 th December 2023 Planning Committee. Decision Notice issued 20/12/2023
RMM/2022/2615	Submission of Reserved Matters (appearance, landscaping, layout and scale) for the erection of 171no. dwellings and associated infrastructure pursuant to planning permission OUT/2019/0484 granted on 05/07/2022 for erection of up to 500 residential dwellings with all matters reserved with the exception of access and comprising of: The	Approved 14 th December 2023 Planning Committee. Decision Notice issued 21/12/23

	demolition of Thompsons Cottage and associated buildings; Provision of green infrastructure including strategic open space, sustainable urban drainage, green networks, play space and associated structural and general landscaping; A vehicular access point and emergency access point onto Bennetts Road North; Network of pedestrian and cycle routes; and All associated infrastructure and enabling works.	
<u>Rookery Farm</u>		
OUT/2019/2277	Proposed residential development (up to 40 dwellings) with associated landscaping/open space, drainage and highway infrastructure (outline application - all matters reserved except access into the site)	Approved 06/03/2020
RMM/2021/0314	Submission of reserved matters under condition 1 for details of appearance, landscaping, layout and scale for 40 dwellings together with associated landscaping/open space, drainage and highway infrastructure and temporary construction access from land to the north west pursuant to planning permission OUT/2019/2277 granted on 6th March 2020 for outline permission with access.	Approved 13/07/2021
<u>Colliery Club</u>		
FUL/2020/2615	Demolition of existing structures to facilitate residential development with associated access, parking, landscaping and drainage.	Approved 25/03/2021
<u>Manor Farm Cottages</u>		
FUL/2021/3173	Erection of two new dwellings with upgraded access and parking (Use Class C3)	Approved 02/02/2022
FUL/2022/3213	Erection of one detached dwelling with upgraded access and parking (Use Class C3)	Approved 05/01/2023
<u>Richborough / Queen</u>		

<u>College Oxford (QCO)</u>		
OUT/2022/0712	Outline application for the demolition of all existing buildings (save for Poddy Cottage) and the erection of up to 290 dwellings and creation of associated vehicular accesses to Bennetts Road and Fivefield Road, pedestrian/cycle accesses, diversion of public rights of way, highway improvements, parking, landscaping, drainage features, open space, and associated infrastructure, with all matters to be reserved except vehicular access points into the site.	Approved 23 rd February Planning Committee . Decision issued 23/06/23
<u>Richborough / Queen College Oxford (QCO)</u>		
OUT/2022/0713	Outline application for the demolition of all existing buildings (save for Manor Farm Cottage) and the erection of up to 260 dwellings and creation of associated vehicular accesses to Bennetts Road, pedestrian/cycle accesses, highway improvements, parking, landscaping, drainage features, open space, and associated infrastructure, with all matters to be reserved except new vehicular access points into the site from Bennetts Road.	Approved 23 rd February Planning Committee. Decision issued 02/06/23.
<u>Hall Hill Cottages</u>		
FUL/2022/3246	Outline planning permission with all matters reserved save for access, for the demolition of existing dwelling and associated agricultural units, and the erection of up to 40 residential dwellings (Use Class C3), with parking and associated works.	Withdrawn
PL/2023/00001155/OUTM	Outline planning permission with all matters reserved save for access, for the demolition of existing dwelling and associated agricultural units, and the erection of up to 40 residential dwellings (Use Class C3), with parking and associated works. (Resubmission of FUL/2022/3246)	Pending

POLICY

National Policy Guidance

National Planning Policy Framework (NPPF), updated July September 2023. The NPPF sets out the Government's planning policies for England and how these are expected to be applied. It sets out the Government's requirements for the planning system only to the extent that is relevant, proportionate and necessary to do so. The NPPF increases the focus on achieving high quality design and states that it is "fundamental to what the planning and development process should achieve".

The National Planning Practice Guidance (NPPG) adds further context to the NPPF and it is intended that the two documents are read together.

Local Policy Guidance

The current local policy is provided within the Coventry Local Plan 2016, which was adopted by Coventry City Council on 6th December 2017. Relevant policy relating to this application is:

- Policy DS1: Overall Development Needs
- Policy DS3: Sustainable Development Policy
- Policy DS4: (Part A) – General Masterplan Principles
- Policy DS4: (Part C) – Keresley SUE Specific Masterplan Principles
- Policy H1: Housing Land Requirements
- Policy H2: Housing Allocations
- Policy H4: Securing a Mix of Housing
- Policy H6: Affordable Housing
- Policy H9: Residential Density
- Policy GB1: Green Belt and Local Green Space
- Policy GE1 Green Infrastructure
- Policy GE3: Biodiversity, Geological, Landscape and Archaeological Conservation
- Policy GE4: Tree Protection
- Policy JE7: Accessibility to Employment Opportunities
- Policy DE1 Ensuring High Quality Design
- Policy HE2: Conservation and Heritage Assets
- Policy AC1: Accessible Transport Network
- Policy AC2: Road Network
- Policy AC3: Demand Management
- Policy AC4: Walking and Cycling
- Policy EM1: Planning for Climate Change Adaptation
- Policy EM2: Building Standards
- Policy EM4 Flood Risk Management
- Policy EM5 Sustainable Drainage Systems (SuDS)
- Policy EM7 Air Quality
- Policy IM1: Developer Contributions for Infrastructure

Supplementary Planning Guidance/ Documents (SPG/ SPD):

- SPD Sustainable Urban Extension
- SPD Design Guidance for New Residential Development
- SPD Householder Design Guide
- SPD Energy
- SPD Coventry Connected

SPD Trees and Development
SPD Air Quality
SPD Affordable Housing

The Green Space Strategy 2019 - 2024

CONSULTATION

No Objections received from:
West Midlands Fire Service

No objections subject to conditions/contributions have been received from:
Drainage (CCC) (LLFA)
Environmental Protection
Urban Design

Final response to be reported as late representations from:
Highways (CCC) (LHA)
Open Space and Parks
Trees

Immediate neighbours and local councillors were originally notified on 12th September 2023 a site notice was posted and a press notice was published in the Coventry Telegraph on 21st September 2023.

8no. letters of objection were received, raising the following material planning considerations:

- Impact on Biodiversity and Biodiversity Net Gain
- Minimum floor standards
- Extent of Woodland Buffer incorrectly shown
- Design of houses
- Location of Bus Stops
- Location of car parking in relation to the proposed houses
- Impact on Public Rights of Way (PRoW)

A number of comments were received raising the following non-material planning considerations, in the context of this reserved matters application:

- Need for housing.
- Lack of Infrastructure.
- Impact on Highways safety.
- Congestion.

APPRAISAL

POLICY BACKGROUND

The National Planning Policy Framework, paragraph 11, states that “Plans and decisions should apply a presumption in favour of sustainable development. For Decision Making, this means: -

c) approving development proposals that accord with an up-to-date development

plan without delay; or

d) where there are no relevant development plan policies, or the policies which are most important for determining the application are out-of-date, granting permission unless: i. the application of policies in this Framework that protect areas or assets of particular importance provides a clear reason for refusing the development proposed; or ii. Any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this Framework taken as a whole.” Footnote 8 to paragraph 11 confirms that this includes situations where the local authority cannot demonstrate a five-year supply of deliverable housing sites.

The Coventry Local Plan was formally adopted on 6th December 2017. Since it was adopted, the Government introduced the Standard Method, a standardised way of calculating minimum housing need. As the Local Plan is now more than five years old the Standard Method is now the determining factor when considering local housing need. When using the Standard Method, the Council is not able to demonstrate a five-year housing land supply. As such, the tilted balance is engaged and therefore planning permission should be granted, unless “any adverse impacts of doing so would significantly and demonstrably outweigh the benefits” when assessed against the policies of the NPPF taken as a whole.

PRINCIPLE OF DEVELOPMENT

Principle of Residential

The principle of the redevelopment of the site for residential purposes was first established under Policy H2 of the Coventry Local Plan which allocated this site and the surrounding area for housing as a Sustainable Urban Extension (SUE). The specific housing requirements are allocated under Policy H2:1.

Application OUT/2022/0712 was submitted; heard at the 23rd February 2023 Planning Committee meeting and subsequently approved the demolition of all existing buildings (save for Poddy Cottage) and the erection of up to 290 dwellings and creation of associated vehicular accesses to Bennetts Road and Fivefield Road, pedestrian/cycle accesses, diversion of public rights of way, highway improvements, parking, landscaping, drainage features, open space, and associated infrastructure including substation.

All the comments are noted with regards to the loss of the Green Belt land, flawed census figures and the need for the development and the amount of woodland buffer, however as these matters have been determined under the outline permission, which approved the redevelopment of the area for housing and the amount of woodland buffer required, these matters cannot be reassessed and are not material in the consideration of the current application which seeks approval for the appearance, landscaping, layout and scale of the proposed houses only.

The outline permission contained a number of conditions which the reserved matters are to come forward in accordance with. These are as follows:

PARAMETER CONDITIONS

- Condition No.4 - The development shall be carried out in accordance with the following approved plans:
 - DRAWING - Site Location Plan - Drawing No.C5041-003-03.
 - AMENDED DRAWING - Amended Land Use and Green Infrastructure Parameter Plan - Drawing No.C5041- 003-02 Rev C.
 - AMENDED DRAWING - Access and Infrastructure Parameter Plan - Drawing No.C5041-003-01 Rev C.
 - AMENDED DRAWING - Proposed Bennetts Road Site Access Junction - Drawing No.T21517-007 Rev A.
 - AMENDED DRAWING - Proposed Pedestrian/Cycle Route Retained Access - Drawing No.T21517-008 Rev A.
 - AMENDED DRAWING - Proposed Fivefield Road Site Access Junction - Drawing No.T21517-009 Rev B. AMENDED DRAWING - Proposed Bennetts Road Site Access Refuse Swept Paths - Drawing No.T21517-010 Rev A.
 - AMENDED DRAWING - Proposed Fivefield Road Site Access Swept Path 01 - Drawing No.T21517-011 RevB.
 - DRAWING - Proposed Emergency Access Swept Path Analysis T21517.003 rev B.
 - DRAWING - Footpath General Arrangement - Drawing No.26381_02_020_01 Rev A.

Condition No.5 - The reserved matters shall have full regard to the Sustainable Urban Extension Design Guidance SPD and include the following specific requirements:

- provision of LEAP;
- retention of trees, tree groups and hedgerows indicated for retention in the submitted Arboricultural Impact, REPORT - Environmental Statement - Appendix 5.3 - Arboricultural Impact Assessment, dated 10th February 2022 - Report Ref:220210 1276 AIA V1 Site C; REPORT - Veteran Tree Management Report, dated 13th July 2022 - Report Ref:220706 1276 VTR V and AMENDED DRAWING - Land Use and Green Infrastructure Parameter Plan - Drawing No.C5041-003-02 Rev C.
- Inclusion of car club spaces for the SUE wide car club at locations to be agreed within the development.
- Provision of a Sustainable Transport Hub within the site to include:
 - Super bus stops with shelters and real-time information
 - Preparations for cycle hire docking station(s) including hard-standing and power supply Provision of communal EV charging points
 - Provision of car club parking and information boards/displays Provision of cycle hire storage facility
- Condition No.7 - The submission of reserved matters applications relating to any residential phase of development pursuant to this outline permission shall include a schedule of the mix of dwellings proposed within that phase, demonstrating how the proposed mix relates to the overall mix of dwellings within the wider site approved under the outline permission. The mix shall take full account the latest

evidence of housing needs (whether contained in a housing needs assessment or otherwise) and local market demand

- Condition No.8 - There shall be a buffer of at least 20m from the ancient woodland boundary, where no development is permitted. No buildings shall be permitted within 30m of the ancient woodland boundary.
- Condition No.21 - Notwithstanding the Flood Risk Assessment and Drainage Strategy, the following shall be submitted to the Local Planning Authority together with each reserved matters applications for each phase of development, the provision of a Sustainable urban Drainage System (SuDS) in accordance with the latest available design guidance. The submission shall include all relevant details and calculations to enable a full evaluation to be undertaken, and clear and accountable consideration shall be given to the following features:
 - Open Air storage or attenuation in the form of a wet pond, dry basin, swale or other similar surface feature, aimed at managing water quantity, quality and introducing biodiversity at the ground surface.
 - General below ground attenuation, aimed solely at managing the quantity of water on site (Note: preference should be given to localised cellular storage unless there is no possible mechanism for doing so)
 - Water quality control mediums such as permeable paving, filter drains, rain gardens, ponds or swales aimed at improving the quality of water passing through the system either above or below ground.
 - The use of water harvesting and grey water reuse at individual plot level within the development. This consideration should include both the deployment of water butts, and dedicated tank-based storage where appropriate and any reasons for NOT using should be clearly stated. All in accordance with Coventry City Council's Supplementary Planning Document "Delivering a more Sustainable City".
 - The storm water discharge rates from the development shall be managed in order to reduce flood risk to surrounding sites, downstream areas or the wider environment by means of a flow control mechanism (or mechanisms) limiting the total site discharge offsite to Q_{bar} greenfield runoff minus 20% or 5 l/s whichever is greater. The discharge rates for brownfield sites shall be considered as greenfield in accordance with the CCC SFRA.
 - A detailed strategy document must be submitted to, and approved in writing by, the LPA for the long-term inspection and maintenance of the SuDS and other surface water drainage elements on site. It should also mention any notable Health and Safety or specialist training, and special equipment required as part of the routine maintenance.
 - An appropriately scaled intrusive ground investigation report must be provided to establish the depth and type of strata, including percolation results in accordance with BRE 365 and identifying the presence and risk associated with migrant or soluble contaminants. Please provide evidence of existing groundwater levels and seasonal variation, in order to inform the drainage design.
 - Prior to the commencement of any works on site, provisions must be made for the drainage of the site to ensure there are no temporary increases in flood

risk, on or off site, during the construction phase. This should be covered under environmental risks in the Site Specific CEMP.

- Evidence must be provided to confirm that receiving water bodies or sewers are capable of accepting the attenuated flows specified by the Lead Local Flood Authority (LLFA) or Local Planning Authority (LPA) and that this will not exacerbate the flood risk on or off site. This will include capacity calculations and outcomes, not just the correspondence from Severn Trent Water Ltd in isolation, accepting the point discharges. Evidence of existing sub catchments within the site may be needed to support the connectivity survey and confirm the acceptability of proposed point discharges to the watercourses and infrastructure sewers. This must be submitted to, and agreed by, the LPA and LLFA.
 - Evidence must be provided to show the management of overland flow routes in the event of exceedance or blockage of the drainage system. Details should include demonstration of how the buildings will be protected in such an event.
 - Single outfall points will be discouraged on larger sites, as outfall points should be located to best mimic the natural discharge condition.
 - Provisions must be made for the drainage of the site to ensure there is no discharge of surface water to the Public Highway.
 - 300mm above the 1 in 100 year pluvial flood levels, and above the 1 in 1000 year fluvial flood levels.
 - Evidence of the 1 in 100 year plus climate change events will be held within the site boundaries, by the designed drainage system and surface profile.
 - No ordinary watercourse shall be culverted unless there is an overriding need to do so and justified in line with the Environment Agency's current policy. If possible, any existing surface water culverts should be opened and restored to a natural channel.
 - Where watercourses are culverted as part of the development, adequate provision for maintenance and survey access must be provided.
 - Where new or redevelopment site levels result in the severance, diversion or reception of natural (or engineered) land drainage flow, the developer shall maintain existing flow routes (where there are no flood risk or safety implications) or intercept these flows and discharge these by a method approved by the Local Planning Authority.
 - All opportunities to reduce flood risk in the surrounding area must be taken, including creating additional flood storage. In this instance reference should be made to the Councils IDP or Regulation 123 list.
 - Foul drainage plans.
- Condition No.22 - The following shall be submitted to the Local Planning Authority together with reserved matters applications for each phase of development:
 - Tree Survey - a detailed scaled plan (to a scale and level of accuracy appropriate to the proposal) showing the position of every tree on the site, and every tree on land adjacent to the site (including street trees) that is likely to have an effect upon or be affected by the proposal (e.g. by shade, crown overhang from the boundary, intrusion of the Root Protection Area etc) with a

stem diameter over the bark measured at 1.5 metres above ground level of at least 75 millimetres;

- a schedule of the trees surveyed as specified in chapter 4.1-4.5 of BS 5837:2012 Trees in Relation to Design, Demolition and Construction - Recommendations;
 - a Tree Constraints Plan (5.1-5.3);
 - Arboricultural Impact Assessment (5.4) to assess the direct and indirect implications of trees upon the proposal and visa-versa, including locations for under-ground/ over-ground services, level changes within RPA's etc.;
 - Arboricultural Method Statement (6.1); and
 - Dimensioned Tree Protection Plan (to include protection measures during and after construction and any construction exclusion zones) (in accordance with 5.5/ Table B.1), site monitoring (6.3) of British Standard BS5837:2012 - Trees in relation to design demolition and construction - Recommendations, which shall also include any proposal for pruning or other preventative works.
- Condition No.25 – A noise assessment shall be submitted with the appearance, layout and scale reserved matters applications for each phase of development. The noise assessment shall include results for LAeq, LA10, and LA90 noise descriptors, together with a calculated arithmetical average for the LAeq. The assessment will demonstrate by calculation that internal noise levels for the proposed residential property meet the 'Good' criteria set out in British Standard 8233 'Sound Insulation and Noise Reduction for Buildings' together with any mitigation measures that are required to achieve this. The report shall also demonstrate that outdoor garden and leisure areas associated with this development meet the 55dB limit as required by the World Health Organisation (WHO). Prior to the first occupation of the buildings any necessary mitigation measures shall have been implemented in full accordance with the recommendations of the noise assessment and thereafter shall not be removed or altered in any way

Assessment of Parameters Conditions

Condition No.4 - The development shall be carried out in accordance with the following approved plans:

- DRAWING - Site Location Plan - Drawing No.C5041-003-03.
- AMENDED DRAWING - Amended Land Use and Green Infrastructure Parameter Plan - Drawing No.C5041- 003-02 Rev C.
- AMENDED DRAWING - Access and Infrastructure Parameter Plan - Drawing No.C5041-003-01 Rev C.
- AMENDED DRAWING - Proposed Bennetts Road Site Access Junction - Drawing No.T21517-007 Rev A.
- AMENDED DRAWING - Proposed Pedestrian/Cycle Route Retained Access - Drawing No.T21517-008 Rev A.
- AMENDED DRAWING - Proposed Fivefield Road Site Access Junction - Drawing No.T21517-009 Rev B.
- AMENDED DRAWING - Proposed Bennetts Road Site Access Refuse Swept Paths - Drawing No.T21517- 010 Rev A.
- AMENDED DRAWING - Proposed Fivefield Road Site Access Swept Path 01 - Drawing No.T21517-011 RevB.

- DRAWING - Proposed Emergency Access Swept Path Analysis T21517.003 rev B.
- DRAWING - Footpath General Arrangement - Drawing No.26381_02_020_01 Rev A.

The AMENDED DRAWING - Amended Land Use and Green Infrastructure Parameter Plan - Drawing No.C5041- 003-02 Rev C, shows the areas of hedgerow and the trees agreed to be removed under the outline permission (OUT/2022/0712), it shows the areas for the LEAP and open public space.

AMENDED DRAWING - Access and Infrastructure Parameter Plan - Drawing No.C5041-003-01 Rev C, shows the main access off Bennetts Road to the east and one off Fivefield Road to the southwest, which is to be an 'avenue' typology, as set out within the SUE SPD. This drawing also shows the existing Public Rights of Way (PRoW) through the site; the proposed realignment of one and the proposed pedestrian and cycle routes through the site connecting to the wider area.

AMENDED DRAWING - Proposed Bennetts Road Site Access Junction Drawing No.T21517-007 Rev A and AMENDED DRAWING - Proposed Fivefield Road Site Access Junction - Drawing No.T21517-009 Rev B show the approved access points.

The application is in accordance with Condition No.4 of OUT/2022/0712 thus far.

Condition No.5 - The reserved matters shall have full regard to the Sustainable Urban Extension Design Guidance SPD and include the following specific requirements:

- provision of LEAP;
- retention of trees, tree groups and hedgerows indicated for retention in the submitted Arboricultural Impact, REPORT - Environmental Statement - Appendix 5.3 - Arboricultural Impact Assessment, dated 10th February 2022 - Report Ref:220210 1276 AIA V1 Site C; REPORT - Veteran Tree Management Report, dated 13th July 2022 - Report Ref:220706 1276 VTR V and AMENDED DRAWING - Land Use and Green Infrastructure Parameter Plan - Drawing No.C5041-003-02 Rev C.
- Inclusion of car club spaces for the SUE wide car club at locations to be agreed within the development.
- Provision of a Sustainable Transport Hub within the site to include:
 - Super bus stops with shelters and real-time information
 - Preparations for cycle hire docking station(s) including hard-standing and power supply Provision of communal EV charging points
 - Provision of car club parking and information boards/displays Provision of cycle hire storage facility.

Shall be discussed in more detail under the following headings: -

- provision of LEAP – *Open Space and Parks*
- retention of trees, tree groups and hedgerows indicated for retention in the submitted Arboricultural Impact, REPORT - Environmental Statement - Appendix 5.3 - Arboricultural Impact Assessment, dated 10th February 2022 - Report Ref:220210 1276 AIA V1 Site C; REPORT - Veteran Tree Management Report, dated 13th July 2022 - Report Ref:220706 1276 VTR V

and AMENDED DRAWING - Land Use and Green Infrastructure Parameter Plan - Drawing No.C5041-003-02 Rev C – *Biodiversity, Ecology and Trees*

- Inclusion of car club spaces for the SUE wide car club at locations to be agreed within the development - *Highways, Access and Parking*.
- Provision of a Sustainable Transport Hub within the site to include:
 - Super bus stops with shelters and real-time information
 - Preparations for cycle hire docking station(s) including hard-standing and power supply Provision of communal EV charging points
 - Provision of car club parking and information boards/displays Provision of cycle hire storage facility - *Highways, Access and Parking*.

- Condition No.7 - The submission of reserved matters applications relating to any residential phase of development pursuant to this outline permission shall include a schedule of the mix of dwellings proposed within that phase, demonstrating how the proposed mix relates to the overall mix of dwellings within the wider site approved under the outline permission. The mix shall take full account the latest evidence of housing needs (whether contained in a housing needs assessment or otherwise) and local market demand – *Housing Mix*

- Condition No.8 - There shall be a buffer of at least 20m from the ancient woodland boundary, where no development is permitted. No buildings shall be permitted within 30m of the ancient woodland boundary – *Ecology, Biodiversity and Trees*.

- Condition No.21 – Flood Risk and Drainage - *Drainage*

- Condition No.22 – Tree Survey - *Ecology, Biodiversity and Trees*.

- Condition No.25 – Noise Assessment - *Noise*

ALLOCATION REQUIREMENTS

Retail Space

The southern local centre already benefits from permission under RMM/2021/2514 and will be provided adjacent to Bennetts Road as part of the land currently being developed by Taylor Wimpey.

Distributor link road and Junction Improvements

The Distributor Link Road called the Keresley Link Road (KLR) is not related to this site. It is located further to the south and goes from Tamworth Road, through the Taylor Wimpey site (RMM/2019/1030), over the Hall brook, through the Bellway site (RMM/2022/0636) and into the other site Countryside own (OUT/2022/0713) linking to Bennetts Road.

Primary School

The new primary school is located elsewhere within the SUE within the Taylor Wimpey site and was approved under OUT/2014/2282 and subsequent S73 application S73/2020/0285.

In conclusion, the principle of development is considered to be acceptable.

HOUSING MIX

Policy H4 of the Coventry Local Plan requires proposals for residential development to include a mix of market housing which contributes towards a balance of house types and sizes across the city as set out within the 'Coventry & Warwickshire Housing & Economic Development Needs Assessment (HEDNA), dated November 2022.

The HEDNA suggests a mix of market housing as the following:

1 bedroom	2 bedroom	3 bedroom	4+ bedroom
10%	40%	40%	10%

The application proposes the following:

<u>1 Bedroom</u>	<u>2 Bedroom</u>	<u>3 Bedroom</u>	<u>4 Bedroom</u>	<u>Total</u>
9no. dwellings	90no. dwellings	119no. dwellings	72no dwelling	<u>290</u>

Split as follows between private and affordable housing.

Private Housing

<u>1 Bedroom</u>	<u>2 Bedroom</u>	<u>3 Bedroom</u>	<u>4 Bedroom</u>	<u>Total</u>
0	60no. dwellings	95no. dwellings	62no dwelling	<u>217</u>

Affordable Housing

<u>1 Bedroom</u>	<u>2 Bedroom</u>	<u>3 Bedroom</u>	<u>4 Bedroom</u>	<u>Total</u>
9no. dwellings	30no. dwellings	24no. dwellings	10no dwelling	<u>73</u>

The table below shows the percentage of the housing mix and how it compares with the suggested mix within the HEDNA.

No. of Bedrooms	Total	% as proposed	% HEDNA
1no.	9no.	3.10%	10%
2no.	90no.	31.03%	40%
3no.	119no.	41.03%	40%
4no.	72no.	24.83%	10%
	290no.		100%

The table highlights that the site is providing more four bedroomed houses than the HEDNA suggests, and less one and two bedrooms.

The HEDNA is a suggestion for a housing mix however in assessing the proposals officers are mindful of the location, being a green field site, which is better able to accommodate the larger family houses. Taking all of the above into account, on balance the application is in accordance with Policy H4.

AFFORDABLE HOUSING

The development at 388no. units is above the threshold of 25 units as set out within Policy H6 of the Coventry Local Plan. Therefore, 25% affordable housing would be required. This amounts to a net figure of 73no. dwellings.

<u>1 Bedroom</u>	<u>2 Bedroom</u>	<u>3 Bedroom</u>	<u>4 Bedroom</u>	<u>Total</u>
9no. dwellings	30no. dwellings	24no. dwellings	10no dwelling	<u>73</u>

No. of Bedrooms	Social Rent	Affordable Rent	Intermediate	Affordable Housing Total	%
1no.	3	6	0	9no.	8.22%
2no.	8	7	15	30no.	41.10%
3no.	7	3	14	24no.	32.88%
4no.	4	6	0	10no.	13.70%
Total	22no.	22no.	29no.	73no.	100%

The affordable housing provision is in accordance with the outline permission and the Affordable housing SPD.

OPEN SPACE AND PARKS

Open Space – Development Provision

Policy GE1 of the Coventry Local Plan states new development proposals should make provision for green infrastructure to ensure that such development is integrated into the landscape and contributes to improvements in connectivity and public access, biodiversity, landscape conservation, design, archaeology and recreation.

Under the outline permission it was determined that there was a deficit in Play Areas within the locality, consequently the provision of a LEAP was required as part of the outline application.

AMENDED DRAWING - Land Use and Green Infrastructure Parameter Plan - Drawing No.C5041-003-02 Rev B shows the location of the LEAP located where the two existing PRoW cross adjacent to the adjacent woodland surrounding by Public Open Space (POS).

Condition No.5 requires the provision of the LEAP to be submitted with any reserved matters application.

On submission the LEAP only retained an 18m separation distance to the nearest house, whereas the minimum is 20m. Furthermore, a LEAP should consist of at least five items of play equipment but there were only four items of fixed play equipment shown and we would also welcome some ancillary features e.g. natural play or musical elements to encourage a broader range of play activities.

AMENDED DRAWING - LEAP Playspace Plan - Drawing No.8210.PSD.2.0 Rev B

shows the provision of a LEAP in the location identified on the approved Land Use and Green Infrastructure Parameter Plan - Drawing No.C5041-003-02 Rev B.

The Parks Officer response will be reported as a late representation to Planning Committee. However, if a response is not forthcoming, Condition No.9 attached to the outline permission is still relevant and requires full details of the LEAP to be submitted prior to commencement.

Open Space – Offsite Works

Officers have looked at the entire housing allocation called the Keresley SUE holistically, this includes mapping the locations of the existing NEAP at Keresley End located within Nuneaton and Bedworth Borough Council (NBBC) administration boundary, and the two NEAPS which have already been approved, which relate directly to the SUE.

One NEAP is to be provided on the Bellway development, approved in outline form for up to 550no dwellings under OUT/2019/0022 and specific reserved matters application RMM/2022/0633 and one on the Taylor Wimpey site, approved in outline form for up to 800no. dwellings under OUT/2014/2282; subsequent variation of condition application S73M/2020/0285 and the reserved matters application RM/2020/2399 which relates to Phase 2A and 2B.

The current application is not big enough at 290no houses to trigger an on-site NEAP, as the threshold is set at 500no. properties. However, under the outline permission it was considered that the development should provide a contribution towards Coundon Park. These monies were secured under the S106 attached to the outline permission (OUT/2022/0712).

SPORTING PROVISION

The proposal contains no indoor sporting provision nor any formal playing pitches, however, mitigation in the form of a financial contribution was agreed under the outline permission (OUT/2022/0712) and secured within the S106 agreement.

This secured the following: -

- £134,245.000 towards swimming pools in the Northwest of Coventry.
- £129,307.00 towards a sports hall in the Northwest of Coventry.
- £26,401.00 towards an artificial grass pitch in the Northwest of Coventry.
- £304,055.99 towards a two-team changing room and provision and maintenance of off-site sports playing pitches.

ARCHAEOLOGY

There are no Heritage Assets located within the site. There are two areas of Archaeology Constraint Areas (ACA) located within the site.

Of the Archaeology Constraint Areas (ACA) located within the site, one is located to the southwest of the site, an area of a possible medieval settlement, and the other located to the southwest of the site an area of a possible enclosure.

Two hedgerows within the site are also recorded by the HER as being of potential medieval origin and may be considered important under the archaeology and history

criteria of the Hedgerow Regulations (1997). Furthermore, the site of a possible medieval route/lane is recorded as running along the south-eastern edge of the site.

A programme of archaeological trenching was warranted and was undertaken prior to determination of the outline permission (OUT/2022/0712). Under the outline permission an initial report was submitted to the archaeologist who was happy that there was nothing of significance. No objections were raised with regards to the principle of developing the site for housing. A condition (No.35) was attached to the outline permission which required a written scheme of archaeological investigation (WSI) to be submitted to and approved in writing by the Local Planning Authority.

Application PL/2023/00002166/DCA has been submitted which has discharged the WSI, however, final discharge can only be given on the completion of the programme for post-investigation assessment and subsequent analysis, publication & dissemination and deposition of resulting material. This is currently undergoing, where the city councils archaeologist have been in regular contact with the team who are currently doing the investigations.

HIGHWAYS, ACCESS AND PARKING

Policy AC1 'Accessible Transport Network' of the Coventry Local Plan states that development proposals which are expected to generate additional trips on the transport network should:

- a) Integrate with existing transport networks including roads, public transport and walking and cycling routes to promote access by a choice of transport modes.
- b) Consider the transport and accessibility needs of everyone living, working or visiting the city.
- c) Support the delivery of new and improved high-quality local transport networks which are closely integrated into the built form.
- d) Actively support the provision and integration of emerging and future intelligent mobility infrastructure.

Policy AC2 of the Coventry Local Plan states new development proposals which are predicted to have a negative impact on the capacity and/or safety of the highway network should mitigate and manage the traffic growth which they are predicted to generate to ensure that they do not cause unacceptable levels of traffic congestion, highway safety problems and poor air quality'. Highway mitigation and management measures should focus firstly on demand management measures (Policy AC3) including the promotion of sustainable modes of travel, and secondly on the delivery of appropriate highway capacity interventions. Highway capacity interventions should be appropriate to the scale of development and expected impact and will be determined through the associated Transport Assessment.

There have been a number of objections to not only to the application but on how the entire SUE has been modelled and whether the modelling is correct, robust etc. The Coventry Area Strategic Model (CASM) is a tool that has been developed to produce traffic figures and distribution for strategic development in Coventry. The Coventry Area Strategic Model CASM is run and maintained by WSP under contract to Coventry City Council, who are commissioned by developers to run the model for proposed sites.

The Coventry Area Strategic Model (CASM) is the base model, used for all applications, has been validated to WebTAG standards.

The validated base Coventry Area Strategic Model (CASM) was used to produce a forecast model to the year 2026. The forecast includes all committed development, in and around the model area, and a growth in background traffic, using industry standard software called TEMPro.

TEMPro is a software package that uses National Traffic Forecasts and amends them with National Trip End Model forecasts, local data, to predict traffic figures for committed and expected developments. In the West Midlands Local Plans are in most cases mature and are delivering development as expected. As such TEMPro growth factors are considered robust in this area.

A number of sites are of particular concern to the objectors, namely, Birmingham Airport, HS2 hub and the Amazon warehouse.

These three sites are dealt with differently within the Coventry Area Strategic Model (CASM) for the following reasons:

- The HS2 Hub is not planned to come onto the highway network until 2029 at the earliest and therefore is not included within the 2026 Coventry Area Strategic Model (CASM).
- The Amazon warehouse is planned to come onto the highway network by 2026 and is therefore included within the 2026 Coventry Area Strategic Model (CASM).
- Birmingham Airport is planned to come onto the highway network by 2026 and is therefore included, with its expected growth to 2026, within the 2026 Coventry Area Strategic Model (CASM).

Notwithstanding the above, all the applications relating to the SUE allocation have also been modelled using TEMPro to create a 2031 model. These figures include all the sites mentioned above and reflect the respective traffic movements both within and to and from the model for that time.

While developing the mitigation strategy for the current allocations within the Coventry Local Plan, the City Council undertook an exercise called the Coventry North Project. This created a 2041 Coventry Area Strategic Model CASM model which included Birmingham Airport and HS2 Hub at full capacity; all the allocations within the Coventry Local Plan, including the Amazon Warehouse together with growth factors to consider potential development beyond the Local Plan.

This project demonstrated that the Keresley Link Road (KLR) is the best solution for development traffic expected in this area.

Therefore, to recap, all planned development not only within our administration boundary and beyond has been modelled correctly and robustly.

Accesses

The outline permission (OUT/2022/0712) has established the principle of developing

this site for a maximum of 290no houses, together with the main access off Bennetts Road and Fivefield Road.

Condition No.4 approved the site accesses drawings as follows: -

- AMENDED DRAWING - Access and Infrastructure Parameter Plan - Drawing No.C5041-003-01 Rev C.
- AMENDED DRAWING - Proposed Bennetts Road Site Access Junction - Drawing No.T21517-007 Rev A.
- AMENDED DRAWING - Proposed Fivefield Road Site Access Junction - Drawing No.T21517-009 Rev B.
- AMENDED DRAWING - Proposed Bennetts Road Site Access Refuse Swept Paths - Drawing No.T21517- 010 Rev A.
- AMENDED DRAWING - Proposed Fivefield Road Site Access Swept Path 01 - Drawing No.T21517-011 RevB.
- DRAWING - Proposed Emergency Access Swept Path Analysis T21517.003 rev B.

Parameter condition No.5 states the site is required to provide:

- Inclusion of car club spaces for the SUE wide car club;
- Provision of a sustainable Transport Hub to include
 - Super bus stops with shelters and real-time information
 - Preparations for cycle hire docking station(s) including hard-standing and power supply Provision of communal EV charging points
 - Provision of car club parking and information boards/displays Provision of cycle hire storage facility

AMENDED DRAWING - Site Layout - Drawing No.VPA18-PL002 Rev G shows the approved accesses for the site together with a location for the Sustainable Transport Hub. The full details of which can be controlled by a suitable worded condition.

Public Rights Of Way (PRoW)

There are a number of footpaths which dissect the site. One, runs along the eastern side of Bunsons Wood (M311). It is acknowledged that there is a significant level difference between this current application site and the site to the north. To this end, under the outline permission a bridge was designed and approved which enabled easier transition (DRAWING - Footpath General Arrangement - Drawing No.26381_02_020_01 Rev A). This relates to footpath M311.

Footpath M311 then runs south westwards and dissects M309. Footpath M309 starts to the south of the existing Poddy Cottage, runs westwards along the boundary with Ravenswood until it meets the northern boundary with No.46 Fivefield Road, from here the footpath climbs northwards, where the two footpaths meet is the location of the proposed LEAP and Public Open Space (POS). Footpath M309 then traverse the western side of Bunson's Wood, before forking off in a north westerly direction meeting the corner of Fivefield Road and where claimed Byway CAP 264 which runs along the northern part of Bunson's Wood and connects to Thompsons Lane.

Under the outline permission footpath M309 is proposed to stay on a similar alignment, incorporated in landscaped corridors, however footpath M311 is to be

diverted outside the approved woodland buffer, approved under the outline permission.

Pedestrian / Cycle Network

The site to the northeast of the application site is the former Colliery Sports Club, approved permission for 56no. dwellings under FUL/2020/2615. As part of that application a 3m cycle track was provided to the red line boundary with the intention that it would be linked to the current application site, forming a critical cycling link to Prologis Park on the eastern side of Bennetts Road.

On submission, the application had omitted this connection, on receipt of amended plans all the cycle connections through the site are being provided in accordance with the approved parameter plan AMENDED DRAWING - Access and Infrastructure Parameter Plan - Drawing No.C5041-003-01 Rev C.

As well as the footpath connecting the former colliery club site (FUL/2020/2615), through this site, it will also connect to the main 'Avenue' which has a segregated footway/cycle track, there is another footpath that will enter the site at the same location as footpath M309 before it goes northwards as it then snakes around the north edge of the proposed SUDs, before connecting to the 'Avenue' adjacent to Fivefield Road.

Bus Provision

Travel for West Midlands (TfWM) do not object to the application due to a collaborative approach being taken for the entire SUE. S106 monies were agreed under the outline permission which will extend the No.16 / 16A service.

Street Typologies

The main road through the southern parcel as amended is in accordance with the "Avenue" typology from the SUE SPD. Accordingly, a 3m cycle track and 2m footway is provided on one side and with a 2m footway on the other side.

Parking

Each property has the required number of parking spaces as set out within the Coventry Connected SPD. Where all one-bedroom properties have one parking space and all properties with two or more bedrooms have two off road, dedicated parking spaces.

In addition, 32no visitor parking spaces are being proposed, out of a 50no space requirement. This is below the requirement. Amended drawings are to be submitted and will be reported as a late representation.

Fire and Refuse Vehicles

The application has been supported by the following:

- AMENDED DRAWING - Refuse Strategy Plan - Drawing No.VPA18-PL005 Rev C
- AMENDED DRAWING - Fire Strategy Plan - Drawing No.VPA18-PL006 Rev C

These drawings illustrate that the site can accommodate the required fire engines

and refuse vehicle.

Conclusion

Members can be assured that the entire Sustainable Urban Extension (SUE) at Keresley has been robustly modelled in terms of its traffic impacts on the local and strategic highway network. All appropriate mitigation has been agreed with not only the Local Highway Authority (LHA) but also neighbouring Highway Authorities (Warwickshire County Council (WCC)) and Highways England who are in charge of the national strategic highway network.

Taking everything into account, the Local Highway Authority (LHA) raises no objection in principle to the development or the layout, however the final response will be reported as a late representation.

ECOLOGY, BIODIVERSITY AND TREES

Policy GE3 of the Coventry Local Plan states that Sites of Special Scientific Interest (SSSIs), Local Nature Reserves (LNRs), Ancient Woodlands, Local Wildlife and Geological Sites will be protected and enhanced.

Policy GE3 establishes that developments should provide a net gain and where this is not possible provide some form of offsetting would be increased when the recommended biodiversity enhancements are included.

The biodiversity impacts and their mitigation were established under the outline permission, OUT/2022/0712 and secured via conditions and S106.

Specifically, within the S106 the mitigation in the form of a financial contribution has been agreed. Which has agreed £32,067.94 per biodiversity unit loss, with the entire site not exceeding £800,174.00.

Trees

The approved REPORT - Environmental Statement - Appendix 5.3 - Arboricultural Impact Assessment, dated 10th February 2022 - Report Ref:220210 1276 AIA V1 Site C under the outline shows the trees and sections of hedgerows approved to be removed.

The outline permission at Condition No.5 required retention of trees, tree groups and hedgerows indicated for retention in the submitted Arboricultural Impact, REPORT - Environmental Statement - Appendix 5.3 - Arboricultural Impact Assessment, dated 10th February 2022 - Report Ref:220210 1276 AIA V1 Site C; REPORT - Veteran Tree Management Report, dated 13th July 2022 - Report Ref:220706 1276 VTR V and AMENDED DRAWING - Land Use and Green Infrastructure Parameter Plan - Drawing No.C5041-003-02 Rev C.

Drawing No.A003 within the REPORT - Environmental Statement - Appendix 5.3 - Arboricultural Impact Assessment, dated 10th February 2022 - Report Ref:220210 1276 AIA V1 Site C highlights the trees and sections of hedgerows permitted to be removed.

Condition No.8, of the outline permission, OUT/2022/0712, required a buffer to the Ancient Woodland, Bunsons Wood. The buffer is required to be a minimum of 20m, where no development is permitted, with no buildings permitted within 30m of the ancient woodland boundary.

Schedule 2 of the signed S106 agreement requires the Ancient Woodland Buffer (AWB) to be planted. Details of which have not been submitted, however, they should be similar to RMM/2022/0680.

Condition No.22 of the outline permission, OUT/2022/0712, required the following to be submitted with reserved matters applications.

- Tree Survey - a detailed scaled plan (to a scale and level of accuracy appropriate to the proposal) showing the position of every tree on the site, and every tree on land adjacent to the site (including street trees) that is likely to have an effect upon or be affected by the proposal (e.g. by shade, crown overhang from the boundary, intrusion of the Root Protection Area etc) with a stem diameter over the bark measured at 1.5 metres above ground level of at least 75 millimetres;
- a schedule of the trees surveyed as specified in chapter 4.1-4.5 of BS 5837:2012 Trees in Relation to Design, Demolition and Construction - Recommendations;
- a Tree Constraints Plan (5.1-5.3);
- Arboricultural Impact Assessment (5.4) to assess the direct and indirect implications of trees upon the proposal and visa-versa, including locations for under-ground/ over-ground services, level changes within RPA's etc.;
- Arboricultural Method Statement (6.1); and
- Dimensioned Tree Protection Plan (to include protection measures during and after construction and any construction exclusion zones) (in accordance with 5.5/ Table B.1), site monitoring (6.3) of British Standard BS5837:2012 - Trees in relation to design demolition and construction - Recommendations, which shall also include any proposal for pruning or other preventative works.

The reserved matter application was supported by REPORT - Arboricultural Impact Assessment & Method Statement, dated September 2023 - Report Ref.11732_AIA.001 and AMENDED REPORT - Arboricultural Impact Assessment & Method Statement, dated 13th February 2024 - Report Ref.11732_AIA.001 Rev B.

The amended reports and plans now show the ancient woodland buffer, together with all trees and hedgerows identified at the outline stage to be retained.

The tree officers final comments will be reported as a late representation.

DRAINAGE

Policy EM4 of the Coventry Local Plan states all major development must be assessed in respect of the level of flood risk from all sources.

Policy EM5 of the Coventry Local Plan states all development must apply SuDS and should ensure that surface water runoff is managed as close to its source as possible.

The application was supported by:

- REPORT - Storm Network 4, dated 01.09.23 - Report Ref.22122 S2 NW4.PFD,
- REPORT - Storm Network 5, dated 01.09.23 - Report Ref.22122 S2 NW5.PFD and REPORT - SUDs Maintenance Plan, as submitted 07.09.23
- DRAWING - Basin Sections Sheet 1 of 2 - Drawing No.22122-400
- DRAWING - Basin Sections Sheet 2 of 2 - Drawing No.22122-401
- DRAWING - Highway Longsections Sh1 of 8 - Drawing No.22122-016
- DRAWING - Highway Longsections Sh2 of 8 - Drawing No.22122-017
- DRAWING - Highway Longsections Sh3 of 8 - Drawing No.22122-018
- DRAWING - Highway Longsections Sh4 of 8 - Drawing No.22122-019
- DRAWING - Highway Longsections Sh5 of 8 - Drawing No.22122-020
- DRAWING - Highway Longsections Sh6 of 8 - Drawing No.22122-021
- DRAWING - Highway Longsections Sh7 of 8 - Drawing No.22122-022
- DRAWING - Highway Longsections Sh8 of 8 - Drawing No.22122-023
- DRAWING - General Arrangement - Drawing No.22122-015
- DRAWING - Utility Survey - Drawing No.5996-0001 Rev 0
- DRAWING - Pre/Post Development Flood Route Plans - Drawing No.22122-011

The LLFA provided comments and requested the following to be submitted:

-
- Details of the relevant survey information and/or correspondence relating to the investigation of downstream pipework;
- The complete Drainage Strategy Plan for the site;
- FFL's and external development levels for the proposed plots and roads;
- Specification for the design of water retaining structures (if unavoidable);
- Sections through Permeable paving showing maintenance/access points and points of connection to main drainage;
- Sections through Flow Control Chambers showing design top water level;
- Sections through Cellular storage (if used) indicating points of access and design top water level;

Amended drawings were submitted:

- DRAWING - Planning External Levels Sheet 1 of 7 - Drawing No.22122-2-2-003 Rev -
- DRAWING - Planning External Levels Sheet 2 of 7 - Drawing No.22122-2-2-004 Rev -
- DRAWING - Planning External Levels Sheet 3 of 7 - Drawing No.22122-2-2-005 Rev -
- DRAWING - Planning External Levels Sheet 4 of 7 - Drawing No.22122-2-2-006 Rev -
- DRAWING - Planning External Levels Sheet 5 of 7 - Drawing No.22122-2-2-007 Rev -
- DRAWING - Planning External Levels Sheet 6 of 7 - Drawing No.22122-2-2-008 Rev -

- DRAWING - Planning External Levels Sheet 7 of 7 - Drawing No.22122-2-2-009 Rev –
- AMENDED DRAWING - Pre/Post Development Flood Route Plans - Drawing No.22122-011
- AMENDED DRAWING - General Arrangement - Drawing No.22122-015 Rev A
- AMENDED DRAWING - Highway Longsections Sh1 of 8 - Drawing No.22122-016 Rev A
- AMENDED DRAWING - Highway Longsections Sh2 of 8 - Drawing No.22122-017 Rev A
- AMENDED DRAWING - Highway Longsections Sh3 of 8 - Drawing No.22122-018 Rev A
- AMENDED DRAWING - Highway Longsections Sh4 of 8 - Drawing No.22122-019 Rev A
- AMENDED DRAWING - Highway Longsections Sh5 of 8 - Drawing No.22122-020 Rev A
- AMENDED DRAWING - Highway Longsections Sh6 of 8 - Drawing No.22122-021 Rev A
- AMENDED DRAWING - Highway Longsections Sh7 of 8 - Drawing No.22122-022 Rev A
- AMENDED DRAWING - Highway Longsections Sh8 of 8 - Drawing No.22122-023 Rev A
- DRAWING - S104 Layout Sheet 1 of 3 - Drawing No.22122-107 Rev A
- DRAWING - S104 Layout Sheet 2 of 3 - Drawing No.22122-2-108 Rev A
- DRAWING - S104 Layout Sheet 3 of 3 - Drawing No.22122-2-109 Rev A
- DRAWING - Basin Sections Sheet 1 of 2 - Drawing No.22122-400 Rev -
- DRAWING - Basin Sections Sheet 2 of 2 - Drawing No.22122-401 Rev -

The Local Lead Flood Authority (LLFA) will be reported as a late representation.

IMPACT ON VISUAL AMENITY

Policy DE1 of the Coventry Local Plan seeks to ensure high quality design and development proposals must respect and enhance their surroundings and positively contribute towards the local identity and character of an area.

The National Planning Policy Framework, paragraph 130 states that “Planning policies and decisions should ensure that developments:

- a) will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development;
- b) are visually attractive as a result of good architecture, layout and appropriate and effective landscaping;
- c) are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities);
- d) establish or maintain a strong sense of place, using the arrangement of streets, spaces, building types and materials to create attractive, welcoming and distinctive places to live, work and visit;

- e) optimise the potential of the site to accommodate and sustain an appropriate amount and mix of development (including green and other public space) and support local facilities and transport networks; and
- f) create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users; and where crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion and resilience.

The NPPF further states (at paragraph 134) “Permission should be refused for development of that is not well designed that fails to reflect local design policies and government guidance on design. Conversely, significant weight should be given to:

- a) development which reflects local design policies and government guidance on design; and/or
- b) outstanding or innovative designs which promote high levels of sustainability or help raise the standard of design more generally in an area, so long as they fit in with the overall form and layout of their surroundings.

LPA should seek to ensure that the quality of approved development is not materially diminished between permission and completion, as a result of changes being made to the permitted scheme (for example through changes to approved details such as the materials used).” (Paragraph 135no.).

The first half of this report has assessed what the constraints are of the site and the suitable mitigation required in order to make a sustainable residential environment.

To recap, the site must provide:

- 1 LEAP in the location as indicated on the AMENDED DRAWING – Land Use and Green Infrastructure Parameter Plan - Drawing No.C5041-003-02 Rev B
- Retention of all existing trees and substantial hedgerows on site
- Dedicated ped/cycle routes through the site – some routes within their own landscaped corridors other routes utilising the existing ‘Avenue’ street typology as set out within the SUE SPD, as shown on AMENDED DRAWING - Access and Infrastructure Parameter Plan - Drawing No.C5041-003-01 Rev B
- A sustainable transport hub – AMENDED DRAWING - Access and Infrastructure Parameter Plan - Drawing No.C5041-003-01 Rev B
- SuDs
- 20m sterile Buffer Zone

Design

The house types have been designed with the Ancient Arden in mind and in accordance with the following SPDs.

- Sustainable Urban Extension Design Guidance
- Householder Design Guide.
- Design guidance for new residential development.

There has been a positive adoption of design features taken from the above SPDs as well as positive introduction of variation between the house types themselves which is a welcomed addition allowing for further interest within the Streetscene.

Scale and Massing

There are no existing houses nearby, however, the sites sits within the middle of the SUE, and therefore, officers are mindful of the house types that have already been approved within the surrounding development.

The application proposes 290no dwellings ranging from terraced, to semi and to detached and range from two – four bedrooms with the predominately being three bedroomed properties.

The proposal will provide for an attractive residential environment and is in accordance with the aforementioned policies.

AIR QUALITY

Policy H1 of the Coventry Local Plan states future housing will be designed to create new and stable communities.

Policy H3 of the Coventry Local Plan states that new development must provide a high-quality residential environment which assists in delivering urban regeneration or creating sustainable communities and which overall enhances the built environment. A suitable residential environment includes safe and appropriate access, adequate amenity space and parking provision and be safe from pollution.

Policy EM7 of the Coventry Local Plan states major development proposals will require the submission of an air quality assessment, as they may lead to a significant deterioration in local air quality resulting in unacceptable effects on human health, local amenity or the natural environment.

The Air Quality SPD simplifies the consideration of air quality impacts associated with development schemes and focus on incorporation of mitigation at the design stage, countering the cumulative impacts of aggregated developments, providing clarity to developers and defining 'sustainability' in air quality terms.

The Site is located within the Coventry citywide Air Quality Management Area which was designated for the potential exceedance of the annual mean nitrogen dioxide (NO₂) air quality objective.

The application is for submission of reserved matters, where the principle of the development has been approved under OUT/2022/0712. The reserved matters are required to come forward in accordance with that permission and the conditions attached to it.

Condition No.18 of the outline permission requires the submission of a method statement detailing the control of emissions into the air during the demolition / construction.

This is a part compliance condition, and a submission requiring the details of the control of emissions into the air during the demolition / construction. to be submitted prior to commencement of works on the site.

A Construction Management Plan (CMP), namely, AMENDED REPORT -

Construction Management Plan - Site 2, dated October 2023 - Report Ref.26381-TRAN-0802 Rev B has been submitted. However, the contents of which require amending, therefore the original condition attached to the outline will still stand.

Condition No.34 of the outline permission requires low NOx emission boilers and one electric car charging point per dwelling. This is a compliance condition which requires all the properties to have these elements installed.

NOISE

Policy H1 of the Coventry Local Plan states future housing will be designed to create new and stable communities.

Policy H3 of the Coventry Local Plan states that new development must provide a high-quality residential environment which assists in delivering urban regeneration or creating sustainable communities and which overall enhances the built environment. A suitable residential environment includes safe and appropriate access, adequate amenity space and parking provision and be safe from pollution.

The application is for submission of reserved matters, where the principle of the development has been approved under OUT/2022/0712. The reserved matters are required to come forward in accordance with that permission and the conditions attached to it.

Condition No.25 requires a noise assessment to be submitted with the reserved matters application.

REPORT - Acoustic Assessment, dated September 2023 - Report Ref.26381-ENV-0401 was submitted in support of the application.

The report concludes that no mitigation is required for the garden areas of the development. However, those properties closest to Bennetts Road will require an alternative means of ventilation and cannot rely on open windows. Two options were provided in the submitted noise report, namely acoustic louvres or mechanical ventilation systems.

The details of the Acoustic Assessment will be conditioned.

CONTAMINATED LAND

Policy EM6 of the Coventry Local Plan seeks to ensure that redevelopment of previously developed land does not have a negative impact on water quality, either directly through pollution of surface or ground water or indirectly through the treatment of wastewater by whatever means.

Condition No.13 – No.17 attached to the outline permission requires the submission of ground investigation and remediation reports.

INFRASTRUCTURE REQUIREMENTS

Comments and objections submitted raise concerns regarding the impact on services such as schools and doctors, the highways network, drainage and flooding and other

infrastructure pressures.

Paragraph 55 of the NPPF states local planning authorities should consider whether otherwise unacceptable development could be made acceptable through the use of conditions or planning obligations.

This includes setting out the levels and types of affordable housing provision required, along with other infrastructure (such as that needed for education, health, transport, flood and water management, and green and blue infrastructure). Where planning conditions are considered the acceptable way to mitigate against any harm that may arise, they have been noted under the relevant sections, with the specific condition given.

However, there are other areas which cannot be mitigated against solely by the imposition of conditions. These were dealt with at outline stage and are provided in more detail below for information purposes.

Developer Contributions

Planning obligations under Section 106 of the Town and Country Planning Act 1990 (as amended), commonly known as s106 agreements, are a mechanism which make a development proposal acceptable in planning terms, that would not otherwise be acceptable. They are focused on site specific mitigation of the impact of development.

The legal tests for when you can use a s106 agreement are set out in regulation 122 and 123 of the Community Infrastructure Levy Regulations 2010 as amended.

The tests are:

- Necessary to make the development acceptable in planning terms;
- Directly related to the development; and
- Fairly and related in scale and kind to the development.

As well as the legal tests, the policy tests are contained in the National Planning Policy Framework (NPPF):

Policy IM1 'Developer Contributions for Infrastructure' of the Coventry Local Plan states that development will be expected to provide or contribute towards provision of: a) Measures to directly mitigate its impact and make it acceptable in planning terms; and b) Physical, social and green infrastructure to support the needs associated with the development.

The outline planning permission, OUT/2022/0712, secured a number of contributions under a Section 106 Legal Agreement. These are as follows:-

Affordable Housing

Policy H6 of the Local Plan requires the provision of 25% affordable housing. The development of 290 units will therefore require 73 dwellings to be for affordable housing.

The affordable housing split is as follows:

No. of Bedrooms	Social Rent	Affordable Rent	Intermediate	Affordable Housing Total	%
1no.	3	6	0	9no.	8.22%
2no.	8	7	15	30no.	41.10%
3no.	7	3	14	24no.	32.88%
4no.	4	6	0	10no.	13.70%
Total	22no.	22no.	29no.	73no.	100%

Biodiversity offsetting

- The Bio-Diversity Contribution for the Development as a whole shall not exceed £800,174.00.

CCG (Doctors)

- £237,049 index lined towards off site primary care and healthcare facilities within 3km of the Keresley SUE.

Education

A total education contribution of £2,865,536.71 is required as set out below:-

<u>Contribution</u>	<u>Amount</u>
Early Years/Pre-School	£316,844.00
Primary	£654,838.71
Primary SEN	£131,478.00
Secondary	£1,273,096.00
Post 16	£292,063.00
Secondary and Post 16 SEN	£197,217.00
TOTAL	£2,865,536.71

Highways

<u>Contribution</u>	<u>Amount</u>
Cycle Superhighway: Long Lane to Holyhead Road Cycleway via Coundon Wedge Drive.	£293,863.43
Cycle Superhighway: Site to city centre cycleway via Radford Road.	£564,233.10
Keresley Link Road.	£1,943,700.57

Public Rights of Way Works – Resurfacing Thompson’s Lane (£118,900) and Diversion Route E of Bunson’s Wood .	£189,900.00
Travel Plan co-ordinator.	£19,582.69
Residential Travel Plans.	£15,537.50
5 Years of Mobility Credits inc Car Club.	£372,378.60
Frequency Increase for Bennetts Road Bus Service (16).	£37,375.00
DRT (Demand Responsive Transport).	£162,398.40
Cycle Hire / E-bikes / E-scooters.	£53,955.00
Travel Plan Monitoring.	£68,000.00
Traffic Surveys for Progress towards Modal Shift Targets.	£22,350.03
Household Surveys	£9,135.00
Traffic Monitoring Cameras at non-signalised junctions	£8,475.00
Fivefield Road Closure	£67,042.46
Off-Site Junction Mitigation	£57,637.00
Winding House Lane/Wheelwright Junction	£64,380.00
M6/Junction 3	£212,570.00

Sports

- £134,245.00 indexed linked towards swimming pools at a public leisure development in the Northwest of Coventry.
- £129,307.00 indexed linked towards a sports hall at a public leisure development in the Northwest of Coventry.
- £26,401.00 indexed linked towards an artificial grass pitch at a public leisure development in the Northwest of Coventry.
- £304,055.00 indexed linked towards a two-team changing facility and the provision and maintenance of off-site sports playing pitches at a location set out in the emerging Playing Pitch Strategy and Action Plan

Parks

- £50,000 towards the cost of providing a MUGA at Coundon Park.

EQUALITY IMPLICATIONS

Section 149 of the Equality Act 2010 created the public sector equality duty. Section 149 states:-

(1) A public authority must, in the exercise of its functions, have due regard to the need to:

- a) eliminate discrimination, harassment, victimisation and any other conduct that is prohibited by or under this Act;
- b) advance equality of opportunity between persons who share a relevant protected characteristic and persons who do not share it;
- c) foster good relations between persons who share a relevant protected characteristic and persons who do not share it.

Officers have taken this into account and given due regard to this statutory duty, and the matters specified in Section 149 of the Equality Act 2010 in the determination of this application.

There are no known equality implications arising directly from this development.

CONCLUSION

The site was removed from the Green Belt when the site was allocated for housing as part of the Keresley Sustainable Urban Extension under Policy H2:1 of the Local Plan.

The Council is not in a position to demonstrate a 5-year housing land supply when using the Government's Standard Method. It is not considered that there are any adverse impacts of granting planning permission that would significantly and demonstrably outweigh the benefits of the development when assessed against the policies of the NPPF taken as a whole. Therefore, in line with the NPPF Planning Permission should be granted.

The proposed development is considered to be acceptable and will not result in any significant impact upon neighbour amenity, highway safety, ecology or infrastructure, subject to relevant conditions and contributions. The reason for Coventry City Council granting planning permission is because the development is in accordance with: Policies DS1, DS3, DS4c, H1, H2, H3, H4, H6, H9, HE2, GE1, GE2, GE3, GE4, JE7, DE1, AC1, AC2, AC3, AC4, EM4, EM5, EM7 and IM1 of the Coventry Local Plan 2016, together with the aims of the NPPF.

CONDITIONS/REASONS

1.	The development hereby permitted shall be carried out in accordance with the following approved plans:
Reason	<i>For the avoidance of doubt and in the interests of proper planning.</i>
2.	The existing tree(s) and hedge(s) indicated on the approved plan xxxxx to be retained shall not be cut down, grubbed out or otherwise removed or topped or lopped so that the height of the hedge(s) falls below 2mm at any point. Any tree(s) or hedge(s) removed without consent or dying, or being severely damaged or diseased or becomes; in the opinion of the Local Planning Authority; seriously damaged or defective, shall be replaced within the next

	planting season with hedging, tree(s) and/or shrub(s) of such size and species details of which must be submitted to and approved by the Local Planning Authority. All hedging, tree(s) and shrub(s) shall be planted in accordance with British Standard BS 8545:2014 Trees: from nursery to independence in the landscape - Recommendations and BS4428 - Code of Practice for General Landscape Operations (excluding hard surfaces).
Reason	<i>To protect those landscape features which are of significant amenity value to the area and which would provide an enhanced standard of appearance to the development in accordance with Policies GE3, GE4 and HE2 of the Coventry Local Plan 2016.</i>
3.	No development or other operations (including any demolition, site clearance or other preparatory works) shall commence unless and until the tree protection measures identified in the approved application documentation have been put into place in strict accordance with the approved details and thereafter they shall remain in place during all construction work. In addition no excavations, site works, stock piling, trenches or channels shall be cut or pipes or services laid, no fires shall be lit within 10 metres of the nearest point of the canopy or root protection area of any protected tree(s); no equipment, machinery or structure shall be located within this zone; no mixing of cement or use of other contaminating materials or substances shall take place within, or close enough to, a root protection area that seepage or displacement could cause them to enter a root protection area or any other works carried out in such a way as to cause damage or injury to the tree(s) by interference with their root structure and that no soil or waste shall be deposited on the land in such a position as to be likely to cause damage or injury to the tree(s).
Reason	<i>To protect those trees which are of significant amenity value to the area and which would provide an enhanced standard of appearance to the development in accordance with Policy GE3 and GE4 of the Coventry Local Plan 2016.</i>
4.	Any on-plot landscaping (other than the planting of trees and shrubs) including the erection of boundary treatment, and the installation of paving and footpaths (which shall be made of porous materials or provision shall be made to direct run-off water from the hard surface to a permeable or porous area), shown on the approved plans namely, xxxxx, unless alternative details have been approved via a discharge of condition application, shall be completed in all respects within three months of the first use of that dwelling(s) and the tree(s) and shrub(s) shall be planted within the first planting season of that first use. Any tree(s) or shrub(s) removed, dying, or becoming; in the opinion of the Local Planning Authority; seriously damaged, defective or diseased within five years from the substantial completion of the scheme shall be replaced within the next planting season by tree(s) or shrub(s) of similar size and species to those originally required to be planted. All hedging, tree(s) and shrub(s) shall be planted in accordance with British Standard BS 8545:2014 Trees: from nursery to independence in the landscape - Recommendations and BS4428 - Code of Practice for General Landscape Operations.

Reason	<i>To ensure a satisfactory standard of appearance of the development in the interests of the visual amenities of the area in accordance with Policies GE1 and DE1 of the Coventry Local Plan 2016.</i>
5.	The soft landscaping hereby approved on xxxxxx shall be completed in all respects prior to occupation of the 25th dwellinghouse. The tree(s) and shrub(s) shall be planted within the first planting season of that first use. Any tree(s) or shrub(s) removed, dying, or becoming; in the opinion of the Local Planning Authority; seriously damaged, defective or diseased within five years from the substantial completion of the scheme shall be replaced within the next planting season by tree(s) or shrub(s) of similar size and species to those originally required to be planted. All hedging, tree(s) and shrub(s) shall be planted in accordance with British Standard BS 8545:2014 Trees: from nursery to independence in the landscape - Recommendations and BS4428 - Code of Practice for General Landscape Operations
Reason	<i>To ensure a satisfactory standard of appearance of the development in the interests of the visual amenities of the area in accordance with Policy DE1 of the Coventry Local Plan 2016.</i>
6.	Prior to the first occupation of the development hereby permitted, details of all off-plot hard landscaping works shall be submitted to and approved in writing by the Local Planning Authority. Details shall include full details of the upgraded Public Right of Way (PROW) and the proposed railings to be erected, specifying the colour of the railings. The hard landscaping works shall be completed in strict accordance with the approved details before the occupation of the 25th dwelling hereby permitted and thereafter they shall be retained and shall not be removed or altered in any way.
Reason	<i>To ensure a satisfactory standard of appearance of the development in the interests of the visual amenities of the area in accordance with Policy DE1 of the Coventry Local Plan 2016.</i>
7.	Prior to the first occupation of the dwellinghouse(s) hereby permitted, within that particular phase, details of the bin storage for that dwellinghouse shall be submitted to and approved in writing by the Local Planning Authority. The bin storage areas shall be provided in full accordance with the approved details prior to first occupation of the development and thereafter they shall remain available for use at all times and shall not be removed or altered in any way. All bins which serve that dwelling must be stored within the approved bin storage area and not positioned on the public highway or in the open, unless on bin collection days.
Reason	<i>In the interests of the amenities of future occupants of the residential accommodation and neighbouring occupiers in accordance with Policy DE1 of the Coventry Local Plan 2016.</i>
8.	No part of the residential accommodation hereby permitted shall be occupied unless and until the external amenity space for that dwelling has been laid out and provided in full accordance with the details shown on the approved plans and thereafter shall remain available for use at all times.

Reason	<i>In the interests of the amenities of the future occupants of the residential accommodation in accordance with Policy DE1 of the Coventry Local Plan 2016.</i>
9.	No development shall commence unless and until an updated overheating assessment has been submitted to and approved in writing by the Local Planning Authority. Prior to the first occupation of the dwellinghouse(s) any necessary mitigation measures shall have been implemented in full accordance with the recommendations of the overheating assessment and thereafter shall not be removed or altered in any way.
Reason	<i>To protect the amenities of future occupiers from road traffic noise and general disturbance in accordance with Policy H3 of the Coventry Local Plan 2016.</i>
10.	Notwithstanding the details shown on xxxxx , relating to the blue area annotated 'wide area for potential restraint system to be fitted', prior to the commencement of the development hereby permitted, full engineering and constructional details of the Gabion vehicle restraint system shall be submitted to and approved in writing by the Local Planning Authority. The Gabion vehicle restraint system shall be installed in full accordance with the approved details prior to vehicular use of the road and thereafter shall be retained and shall not be removed or altered in any way.
Reason	<i>In the interests of highway safety in accordance with Policies AC1 and AC2 of the Coventry Local Plan 2016.</i>
11.	Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended), or any statutory instrument amending, revoking and/or replacing that Order, no further development shall take place within the curtilage of any dwellinghouse hereby permitted without the prior grant of planning permission by the Local Planning Authority.
Reason	<i>Having regard to the design, layout and general nature of the proposed development it is important to ensure that no further development is carried out which would detract from the appearance of the area and affect the amenity of adjacent properties. Therefore, no additional development is to be carried out without the permission of the Local Planning Authority in accordance with Policies H3 and DE1 of the Coventry Local Plan 2016</i>
12.	Prior to first occupation of the development hereby approved, full details of the West Midlands Cycle Hire docking stations including power supply which will be necessary for eBike charging and communications, shall be submitted and agreed in writing. The docking stations shall be provided as per the approved details by occupation of the 25th dwelling and thereafter maintained for the lifetime of the development.
Reason	<i>To ensure satisfactory provision of sustainable forms of transport on site and to ensure it has a satisfactory appearance in accordance with policy AC1, AC4 and DE1 of the Coventry Local Plan 2016</i>

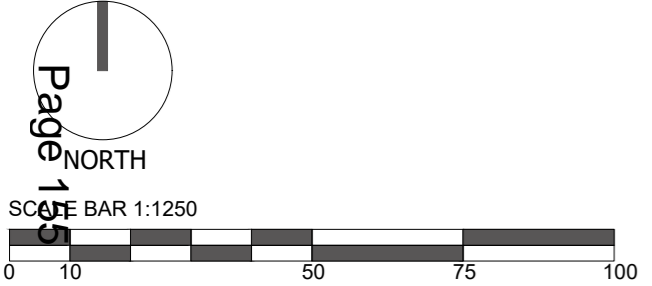
13.	No more than 50no dwellings shall be occupied unless and until the footpath / cycleway network connecting Bennetts Road along the southern portion of the site to Fivefield Road has been completed to surface course and opened to traffic to the satisfaction of the Local Planning Authority.
Reason	<i>In the interests of highway safety in accordance with Policies AC1 and AC2 of the Coventry Local Plan 2016</i>
14.	No part of the residential accommodation hereby permitted shall be occupied unless and until the footway connecting that dwelling to the adopted highway have been constructed to surface course and thereafter shall remain available for use at all times.
Reason	<i>In the interests of encouraging the use of alternative modes of transport with the aim of creating a more sustainable city in accordance with Policies DS3, AC3 and AC4 of the Coventry Local 2016</i>
15.	No part of the residential accommodation hereby permitted shall be occupied unless and until the road connecting that dwelling to the adopted highway have been constructed to binder and thereafter shall remain available for use at all times.
Reason	<i>In the interests of encouraging the use of alternative modes of transport with the aim of creating a more sustainable city in accordance with Policies DS3, AC3 and AC4 of the Coventry Local 2016</i>



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Client: Countryside Partnership		Scale: 1:1250	Sheet Size: @ A2
Project: Kersley, Coventry		Date: Aug 2023	Rev: -
Title: Location Plan		Drawn: TW	Checked: MTF
Job No: VPA18	Drawing No: PL001		
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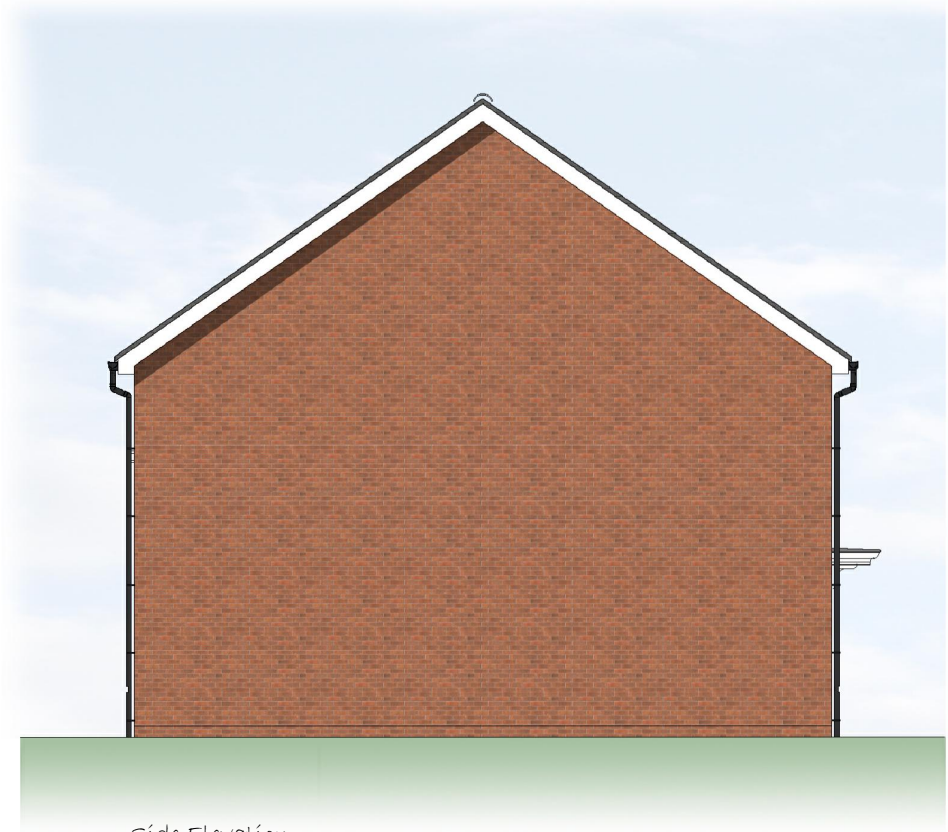




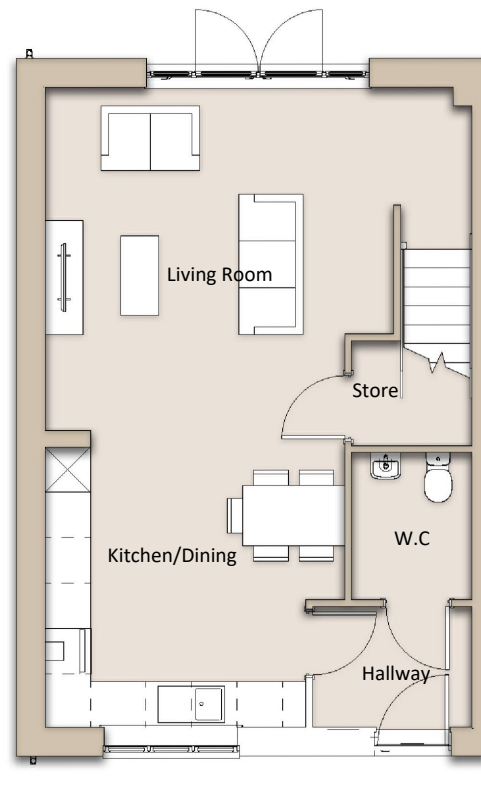
Front Elevation



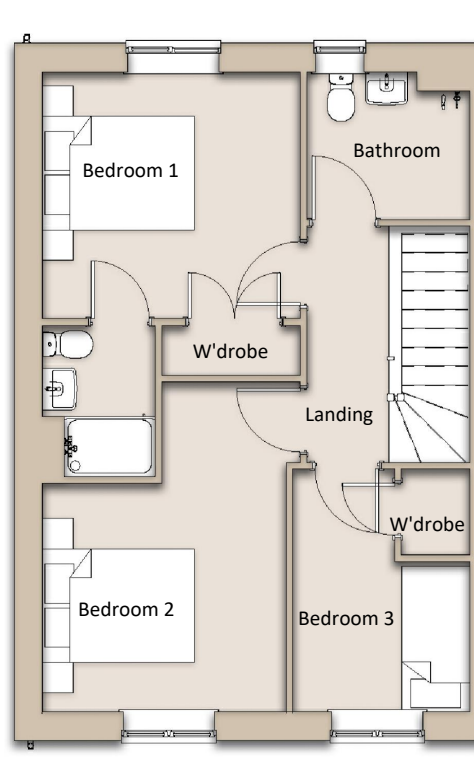
Rear Elevation



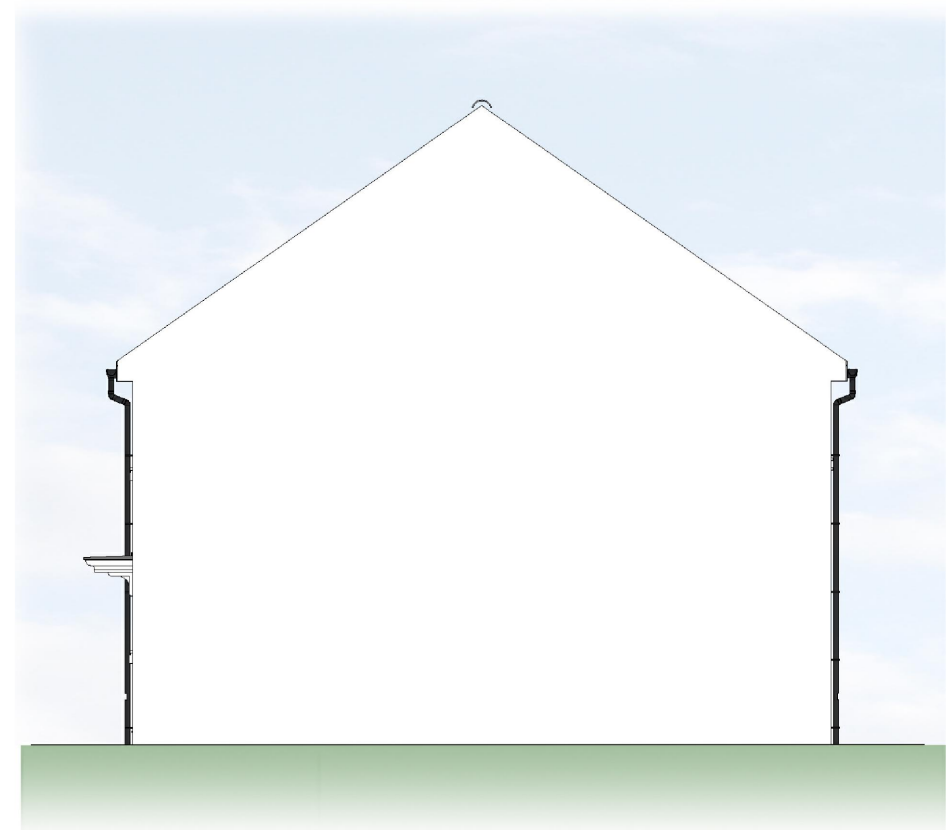
Side Elevation



Ground Floor



First Floor

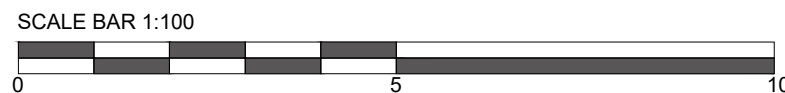


Side Elevation

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Client: Countryside Partnerships	Scale: 1:100	Sheet Size: @ A3
Project: Keresley, Coventry	Date: Aug 2023	Rev: A
Title: HT Bluebell - Plans & Elevations	Job No: VPA18	Drawing No: PL101
Drawn: SI	Checked: MTF	



'Refer to PL003 - Materials Plan for brick and roof tile specification'

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Accommodation Schedule PL002

Private Sale					
Sweetness	28/2 storey	11 no. @	763 m ² / 70.88 m ²	= 8,393 ft ² / 779.7 m ²	
Bluebell	38/2 storey	14 no. @	1,026 m ² / 95.32 m ²	= 14,364 ft ² / 1,334.4 m ²	
Sunflower	38/2 storey	21 no. @	1,107 m ² / 102.84 m ²	= 23,247 ft ² / 2,159.6 m ²	
Dahlia	48/2 storey	15 no. @	1,144 m ² / 106.28 m ²	= 17,160 ft ² / 1,594.2 m ²	
Lavender	48/2 storey	1 no. @	1,012 m ² / 94.01 m ²	= 17,012 ft ² / 1,594.2 m ²	
Darland	28 / 2 storey	46 no. @	779 m ² / 72.37 m ²	= 35,834 ft ² / 3,329.0 m ²	
Doulin	28 / 2 storey	3 no. @	803 m ² / 74.90 m ²	= 2,409 ft ² / 223.8 m ²	
Chaffinch	38 / 2 storey	18 no. @	838 m ² / 76.92 m ²	= 14,904 ft ² / 1,384.6 m ²	
Eagle	38 / 2 storey	37 no. @	934 m ² / 86.77 m ²	= 34,558 ft ² / 3,210.4 m ²	
Egret	38 / 2 storey	5 no. @	1,005 m ² / 93.36 m ²	= 5,025 ft ² / 466.8 m ²	
Crossbill	48 / 2.5 storey	28 no. @	1,012 m ² / 94.01 m ²	= 28,336 ft ² / 2,632.4 m ²	
Violet	48 / 2.5 storey	18 no. @	1,207 m ² / 112.13 m ²	= 21,726 ft ² / 2,018.5 m ²	
Total:		217 no. @	206,968 m² / 19,227.3 m²		

Block C					
Block C	18/2 Apartment	3 no. @	480 m ² / 44.59 m ²	= 1,440 ft ² / 133.8 m ²	
Ashbee	28 / 2 storey NDCS	1 no. @	767 m ² / 71.25 m ²	= 767 ft ² / 71.3 m ²	
Fulmar	28 / 2 storey NDCS	7 no. @	873 m ² / 81.10 m ²	= 6,111 ft ² / 567.7 m ²	
Egret	38 / 2 storey NDCS	2 no. @	1,005 m ² / 93.36 m ²	= 2,010 ft ² / 186.7 m ²	
Eagle	38 / 2 storey NDCS	5 no. @	934 m ² / 86.77 m ²	= 4,670 ft ² / 433.9 m ²	
Violet	48 / 2.5 storey NDCS	4 no. @	1,207 m ² / 112.13 m ²	= 4,828 ft ² / 448.5 m ²	
Total:		22 no. @	19,248 m² / 1,788.1 m²		

Block C					
Block C	18/2 Apartment	6 no. @	480 m ² / 44.59 m ²	= 2,880 ft ² / 267.6 m ²	
Fulmar	28 / 2 storey NDCS	7 no. @	873 m ² / 81.10 m ²	= 6,111 ft ² / 567.7 m ²	
Egret	38 / 2 storey NDCS	3 no. @	1,005 m ² / 93.36 m ²	= 3,015 ft ² / 280.3 m ²	
Violet	48 / 2.5 storey NDCS	6 no. @	1,207 m ² / 112.13 m ²	= 7,242 ft ² / 672.8 m ²	
Total:		22 no. @	19,248 m² / 1,788.1 m²		

Block C					
Block C	18/2 Apartment	5 no. @	873 m ² / 81.10 m ²	= 4,365 ft ² / 405.5 m ²	
Egret	38 / 2 storey NDCS	6 no. @	1,005 m ² / 93.36 m ²	= 6,030 ft ² / 560.2 m ²	
Total:		11 no. @	10,395 m² / 965.7 m²		

Block C					
Block C	18/2 Apartment	10 no. @	763 m ² / 70.88 m ²	= 7,630 ft ² / 708.8 m ²	
Bluebell	38 / 2 storey NDCS	3 no. @	1,026 m ² / 95.32 m ²	= 3,078 ft ² / 285.9 m ²	
Sunflower	38 / 2 storey NDCS	5 no. @	1,107 m ² / 102.84 m ²	= 5,535 ft ² / 514.2 m ²	
Total:		18 no. @	16,243 m² / 1,509.0 m²		

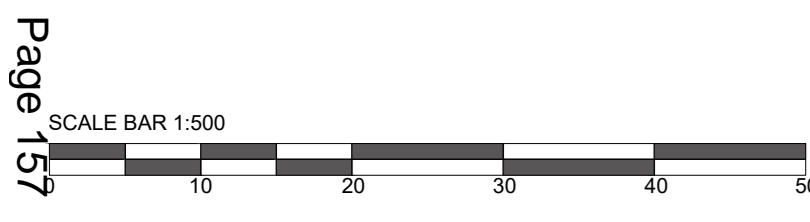
Overall Total:					
Overall Total:		290 no. @	272,680 m² / 25,332.0 m²		



Key

	Site Boundary
	13.5m wide retained land for future access/service
	Water Easement
	Existing ditch network with 5m easement

* Refer to the landscape/planting plans for details of proposed landscaping scheme.



Client: Countryside Partnerships
 Project: Keresley, Coventry
 Title: Site Layout
 Job No: VPA18 Drawing No: PL002
 Scale: 1:500 Sheet Size: A0
 Date: Aug 2023 Rev: G
 Drawn: MTF Checked: MRB

1: 0121 430 1151
 E: adam@ophirarchitects.com



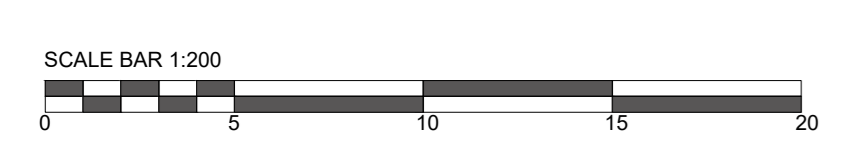
Street Scene A - A



Street Scene B - B



Street Scene C - C



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 Construction

ophir
 Client: Countryside Partnership
 Project: Kersley, Coventry
 Title: Street Scenes
 Scale: 1:200
 Job No: VPA18
 Date: July 2023
 Sheet Size: @ A0
 Drawing No: PL301
 Rev: A
 Drawn: TW
 Checked: MTF

1 0325 430 1333
 E: admin@ophirarchitects.com A: 1 Leger Lane, Birmingham, B5 2DQ



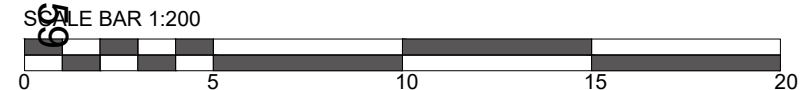
Street Scene D - D



Key : NTS



Street Scene E - E



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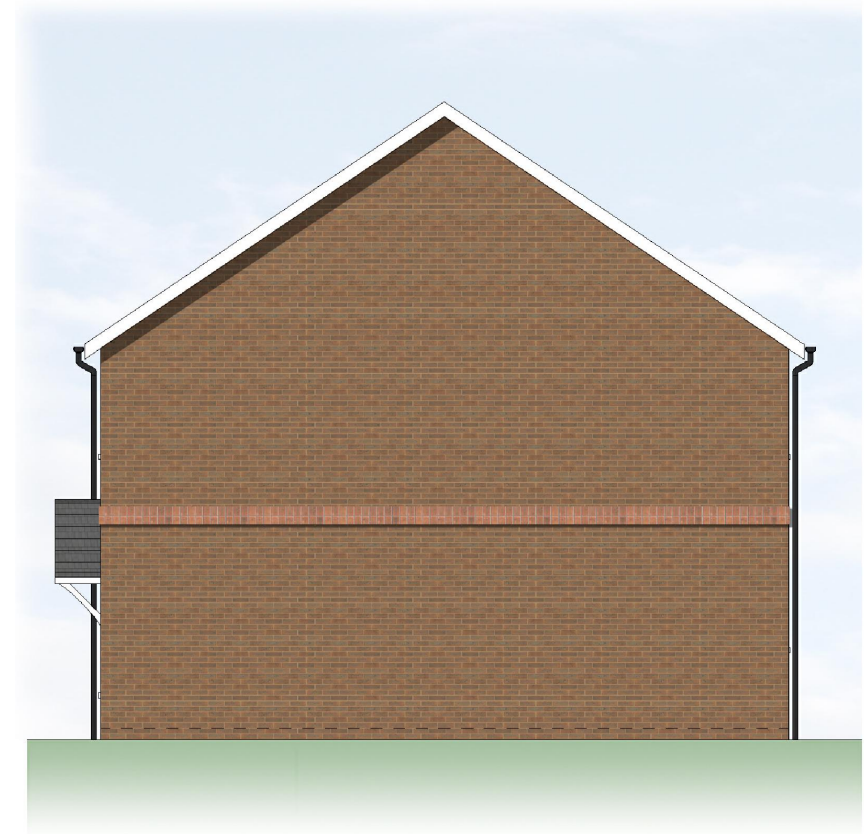
Client: Countryside Partnership		Job No: VPA18	Drawing No: PL302
Project: Kersley, Coventry		Date: Feb 2024	Rev: -
Title: Street Scenes		Drawn: TW	Checked: MTF
Scale: 1.200	Sheet Size: @ A3		
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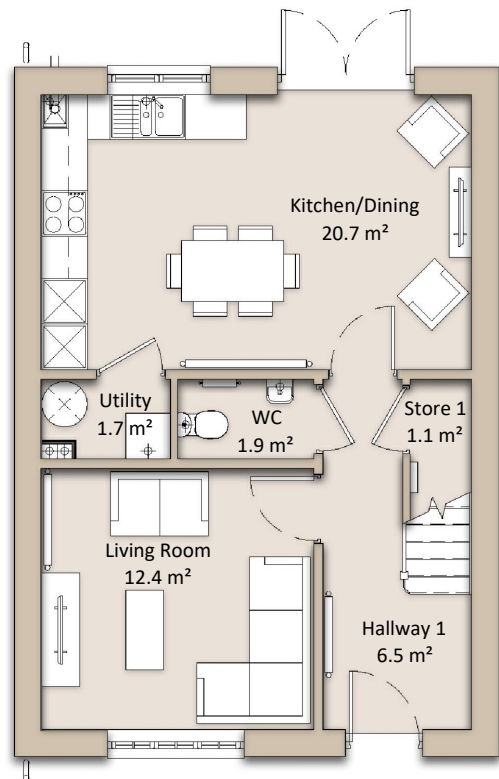
Front Elevation



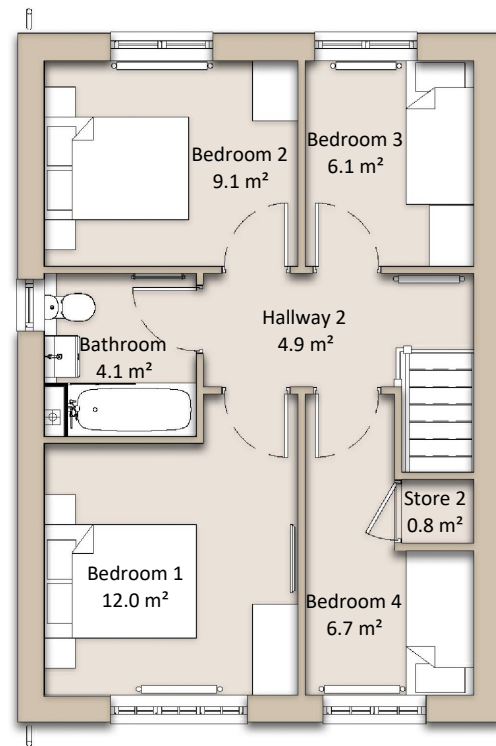
Rear Elevation



Side Elevation



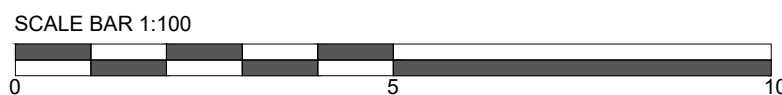
Ground Floor Plan



First Floor Plan



Side Elevation



'Refer to PL003 - Materials Plan for brick and roof tile specification'

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Client: Countryside Partnerships	Scale: 1:100	Sheet Size: @ A3
Project: Keresley, Coventry	Date: Aug 2023	Rev: -
Title: HT Crossbill - Plans & Elevations	Drawn: SI	Checked: MTF
Job No: VPA18	Drawing No: PL104	
T: 0121 439 1151	A: 1 Legge Lane, Birmingham, B1 3LD	
E: admin@ophirarchitecture.com		

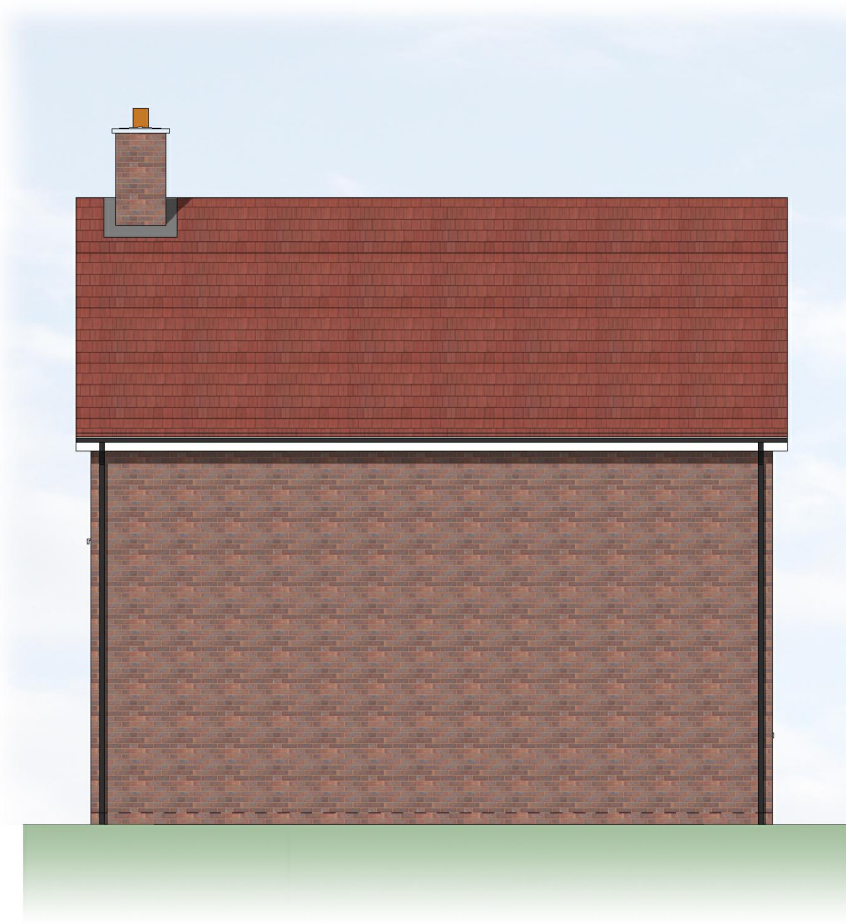
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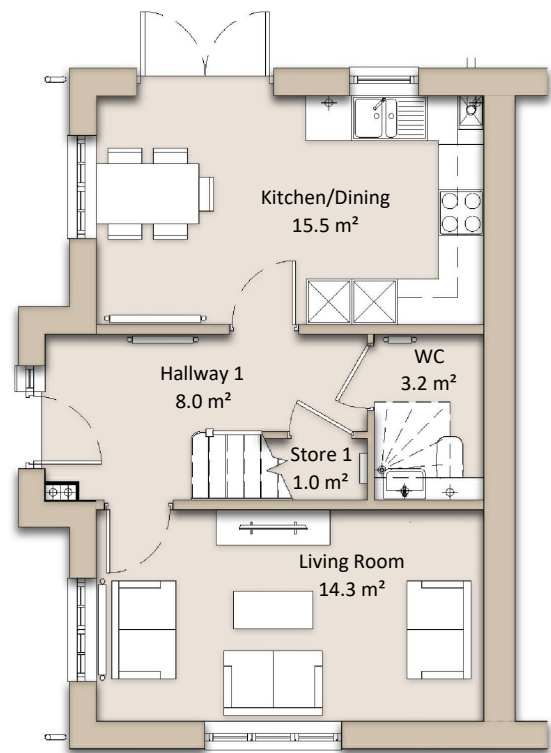
Front Elevation



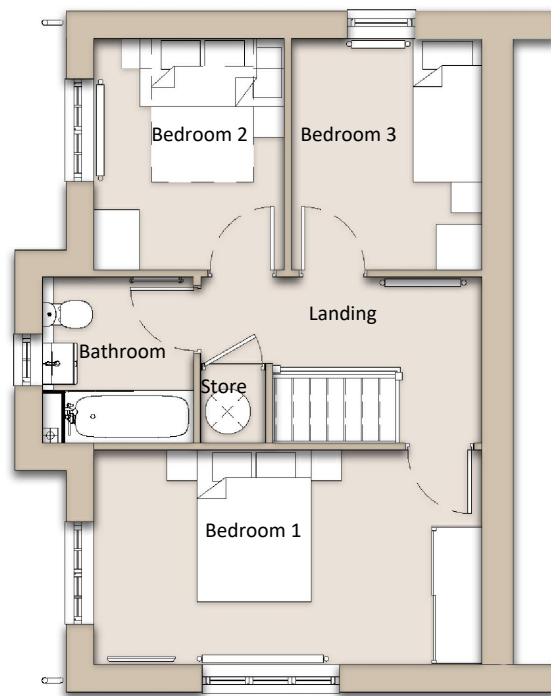
Rear Elevation



Side Elevation



Ground Floor



First Floor



Side Elevation

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ophir	Client: Countryside Partnerships		Scale: 1:100	Sheet Size: @ A3
	Project: Keresley, Coventry		Date: Aug 2023	Rev: A
	Title: HT Eagle PRS Render- Plans & Elevations		Drawn: SI	Checked: MTF
	Job No: VPA18	Drawing No: PL119		
	T: 0121 439 1151		A: 1 Legge Lane, Birmingham, B1 3LD	
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SCALE BAR 1:100



'Refer to PL003 - Materials Plan for chimney position'

'Refer to PL003 - Materials Plan for brick and roof tile specification'



Front Elevation



Side Elevation



Rear Elevation

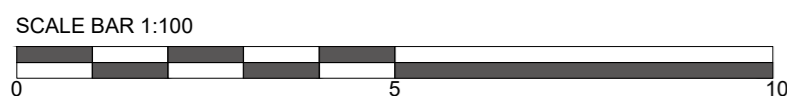


Side Elevation

Preliminary Design Information Comment Planning Construction



Client: Countryside Partnerships	Scale: 1:100	Sheet Size: @ A2
Project: Keresley, Coventry	Date: Feb 2024	Rev: -
Title: Apt Block C - Elevations	Drawn: MTF	Checked: -
Job No: VPA18	Drawing No: PL128	
T: 0121 439 1151	A: 1 Legge Lane, Birmingham, B1 3LD	Registered in England and Wales. Company No. 11534477
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'Refer to PL003 - Materials Plan for brick and roof tile specification'